



STUDY DOCUMENT

SCHOOL DISTRICT OF RHINELANDER

Rhineland, Wisconsin

Tuesday | October 5, 2021



School District of Rhinelander | Administration Team

Eric Burke, Superintendent
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Michele Cornelius, Director of Human Resources
Rachel Hoffman, Director of Teaching, Learning, and Technology
Maggie Peterson, Director of Learning Support
Robert Thom, Director of Business Services
Jeff Zdroik, Director of Building and Grounds

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DISTRICT INFORMATION: PROCESS

School District of Rhinelander is located in northern Wisconsin within the town of Rhinelander. It is located within Oneida County. The School District is comprised of four Elementary Schools, one Middle School, and one High School.

Northwoods Community Elementary:

9086 Hwy K
Harshaw, WI 54529

Crescent Elementary:

3319 Boyce Drive
Rhinelander, WI 54501

Pelican Elementary:

3350 V. Hickey Road
Rhinelander, WI 54501

Central Elementary:

418 N Pelham Street
Rhinelander, WI 54501

James Williams Middle School:

915 Acacia Lane
Rhinelander, WI 54501

Rhinelander High School:

665 Coolidge Avenue
Rhinelander, WI 54501

Study Objective

In collaboration with School District of Rhinelander, Bray Associates Architects has conducted an extensive analysis of the existing schools. Initial efforts are centered around identifying academic and facility needs by recognizing opportunities and challenges at each of the existing facilities. Subsequent phases may consider additional analysis of each of the needs assessed.

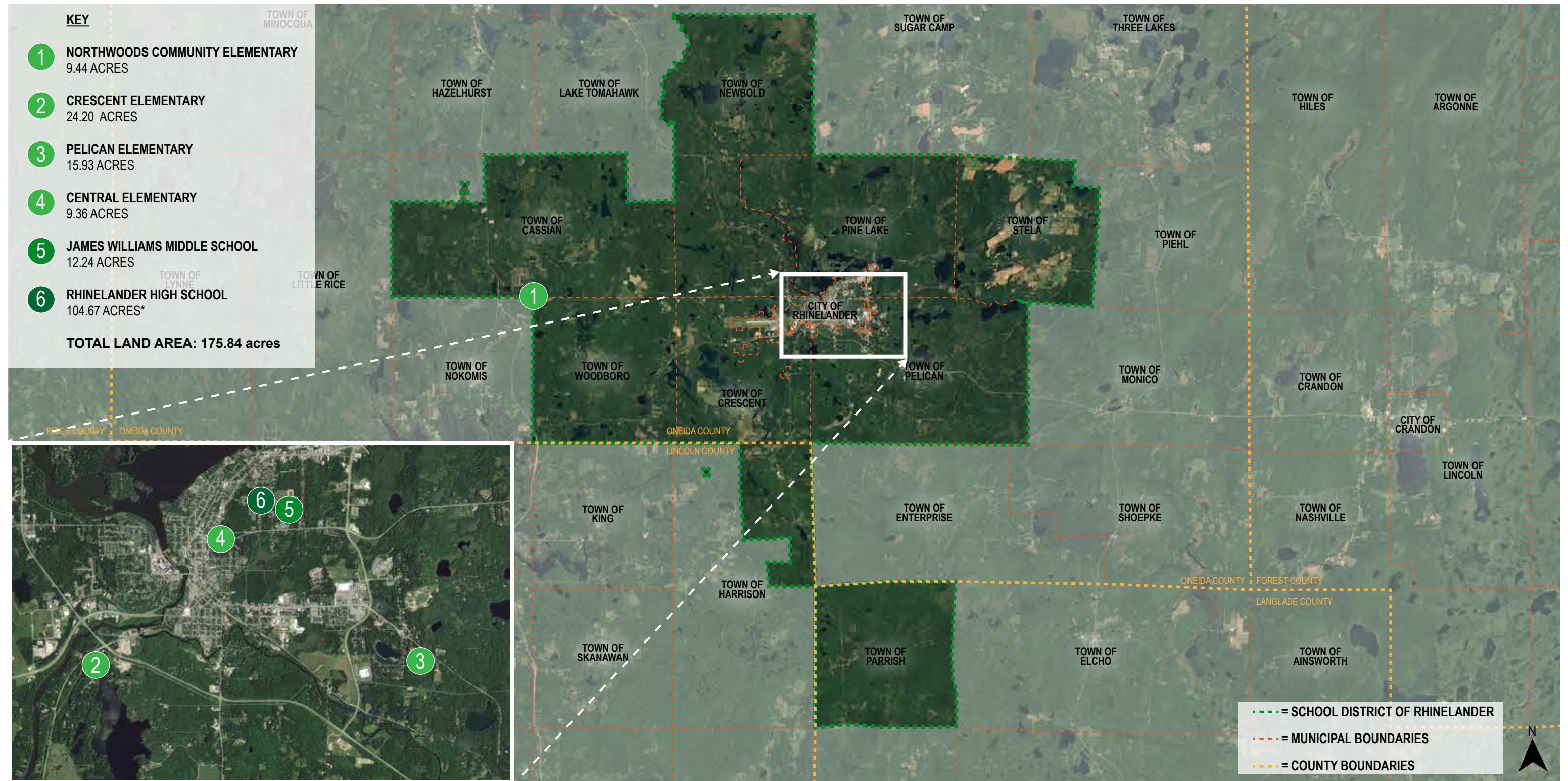
Methodology

The study process facilitated by the Bray architectural team utilizes their educational planning and design experience in a wide approach to data collection and analysis.

An existing facility condition review was also conducted by Bray Architects. This review was conducted through building tours and review of existing building drawings as well as previous planning and analysis.



RHINELANDER, WISCONSIN: SCHOOL LOCATION & DISTRICT BOUNDARY



**Note: Information provided by GIS data and the Wisconsin Education Boundaries Map provided by the WI Department of Public Instruction and University of Wisconsin-Madison State Cartographer's Office.

*Note: Shared parcels of land are accounted for within the high school acreage.

SITE PLAN
not to scale



ENROLLMENT HISTORY & PROJECTIONS

Grade	2011-2012	2012-2013	2013-2014	2014-2015	2015-2016	2016-2017	2017-2018	2018-2019	2019-2020	2020-2021	Notes
4K	151	151	152	138	134	161	133	124	142	88	
K	153	167	165	165	145	143	164	147	132	138	
1st	160	154	163	171	179	139	142	173	138	127	
2nd	152	157	151	171	171	177	139	145	171	126	
3rd	170	145	154	163	174	170	173	144	150	157	
4th	136	168	152	160	155	147	169	168	155	141	
5th	155	140	165	153	167	159	174	170	171	156	
6th	159	165	133	173	154	175	160	180	175	171	
7th	154	163	162	141	179	157	174	166	181	168	
8th	174	154	164	167	147	186	166	180	174	182	
9th	203	210	187	205	189	186	212	181	202	194	
10th	229	204	216	191	203	189	182	208	184	192	
11th	233	231	206	220	188	195	184	175	219	180	
12th	249	239	232	221	221	186	200	181	186	229	
Total District Enrollment	2,478	2,448	2,402	2,439	2,406	2,370	2,372	2,342	2,380	2,249	
Change Over Prior Period	-	-30	-46	37	-33	-36	2	-30	38	-131	
4K - 5th Grades	1,077	1,082	1,102	1,121	1,125	1,096	1,094	1,071	1,059	933	
6th - 8th Grades	487	482	459	481	480	518	500	526	530	521	
9th - 12th Grades	914	884	841	837	801	756	778	745	791	795	





1 NORTHWOODS COMMUNITY ELEMENTARY

Northwoods Community Elementary provides a comprehensive program for 4K through 5th grade students.

BUILDING AREA: 18,312 sq. ft.

STUDENT POPULATION: 98 STUDENTS

GRADES SERVED: 4K, KINDERGARTEN, 1ST-5TH GRADES

SITE SIZE: 9.44 ACRES

PARKING: 19 STALLS

NORTHWOODS COMMUNITY ELEMENTARY: BUILDING EVOLUTION

Northwoods Community Elementary was originally constructed in 1956. There was a classroom wing added in 1999, expanding the building by six classrooms.

The following building evolution diagram outlines the building's development over time.



Northwoods Community Elementary Main Office

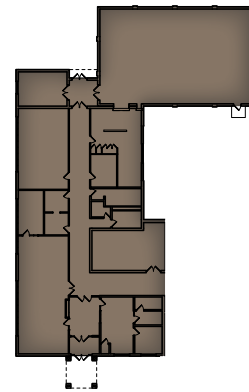


Northwoods Community Elementary Classroom

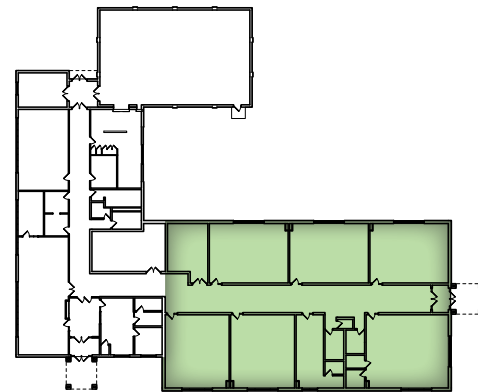


Northwoods Community Elementary Corridor





1956



1999



■ = 1956 - Original

■ = 1999 - Classroom Addition

*Dates of construction based on information identified in existing building drawings or information provided by the District.



NORTHWOODS COMMUNITY ELEMENTARY: EXISTING SITE PLAN



SITE PLAN
not to scale



NORTHWOODS COMMUNITY ELEMENTARY: EXISTING FLOOR PLAN



FIRST FLOOR PLAN
not to scale



NORTHWOODS COMMUNITY ELEMENTARY: NEEDS ASSESSMENT

The following is a summary of potential improvements at Northwoods Community Elementary. This is not intended to be a comprehensive list. The following information was obtained through notations made by Bray Architects at extensive tours of the building and grounds, as well as needs identified by District staff.

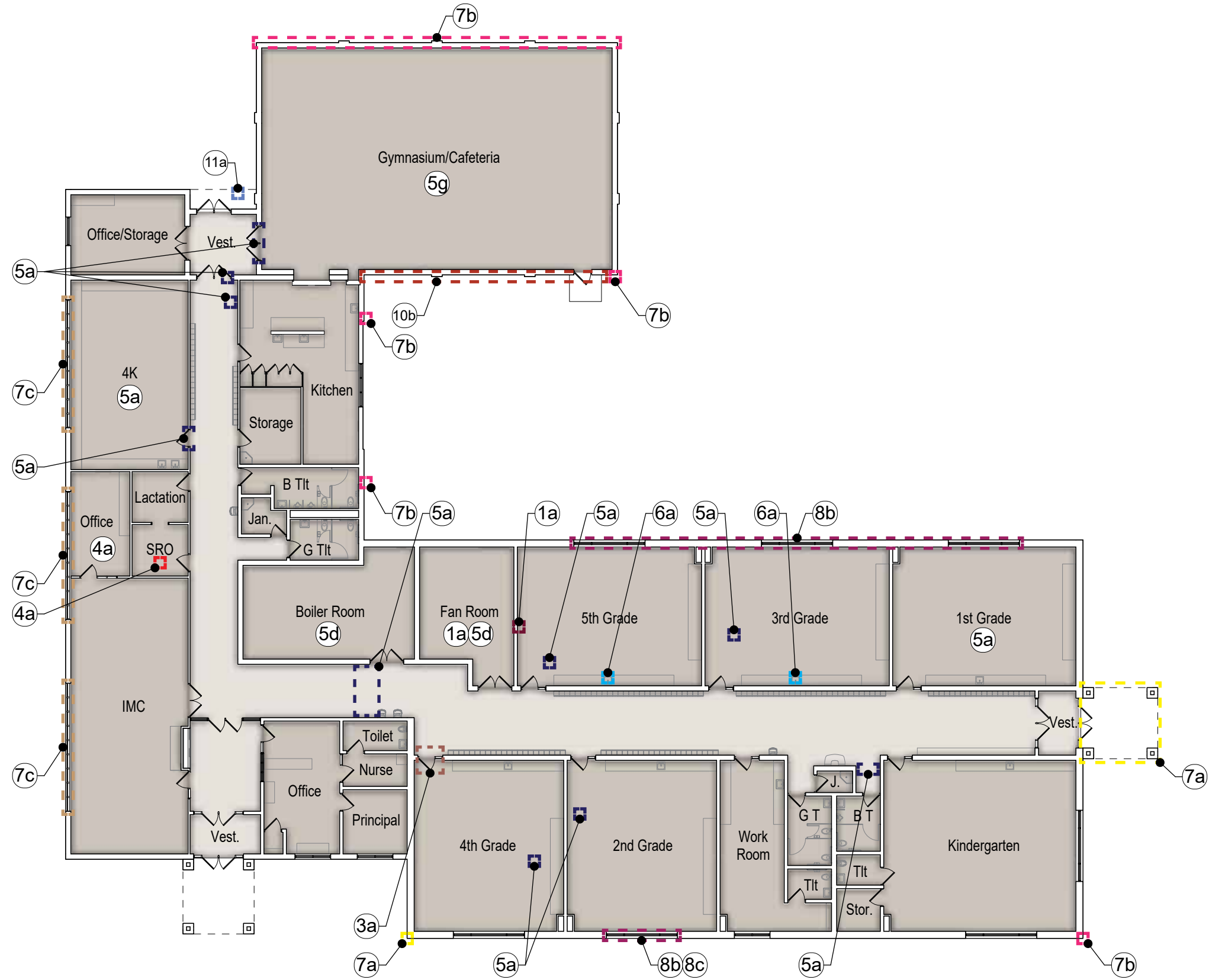
No.	Northwoods Comm. Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Infrastructure Improvement					
Building Interior					
1	Walls				
a	Walls	concrete block	building	instances of patched holes	x
b	Walls	gypsum	building	overall in good condition	
c	Walls	tile	toilet rooms	overall in good condition	
2 Window Interior & Openings					
a	Interior Window	hollow metal	building	overall in good condition	
b	Interior Window Sills	laminate	building	overall in good condition; few instances of chipping	
3 Interior Doors					
a	Interior Doors - Door / Frame	wood / hollow metal	building	overall in good condition; few instances of chipping and/ or discoloring, especially at base	x
4 Ceilings					
a	Ceilings	acoustical ceiling tile	building	chipped, cracked, stained, and / or missing	x
b	Ceilings	wood	gymnasium	overall in good condition	
5 Flooring					
a	Flooring	VCT	building	cracked and / or separating	x
b	Flooring	carpet	classrooms, IMC, offices	overall in good condition	
c	Flooring	2" tile	toilet rooms / janitor closet / nurse's office	visibly stained and / or has stained grout	
d	Flooring	concrete	boiler / fan room	discolored and / or scuffed	x
e	Flooring	non-slip tile	kitchen / storage	cracked and / or stained	
f	Flooring	12" tile	main vestibule	overall in good condition	
g	Base	vinyl	building	peeling and / or missing in gymnasium	
h	Base	tile	toilet rooms	overall in good condition	
6 Miscellaneous					
a	Casework	laminate	building	laminate peeling along sinks	x
b	Lockers	metal	corridors	overall in good condition	
c	Bathroom Stall Partitions	metal / composite	toilet room	overall in good condition; few instances of rusting	
d	Drinking Fountains	metal / porcelain	corridors	overall in good condition	

NORTHWOODS COMMUNITY ELEMENTARY: NEEDS ASSESSMENT

No.	Northwoods Comm. Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Building Exterior / Envelope					
7	Walls				
a	Foundation Walls	concrete	building	overall in good condition; few instances of cracking	x
b	Exterior Walls	brick	building	visibly stained, discolored, cracked, and / or chipped	x
c	Exterior Walls	painted concrete block	building	paint peeling, stained, and / or cracked	x
d	Exterior Walls	concrete block	columns / above windows	overall in good condition	
8	Windows				
a	Windows	aluminum	building	visibly faded, paint peeling, and / or rusting	see window analysis
b	Windows - Sills	stone	building	stained, and / or sealant peeling	x
c	Windows - Lintel	metal	building	visibly chipped, bent, and / or rusting	x
9	Doors				
a	Exterior Doors - Door / Frame	aluminum / aluminum storefront	building	scratched, fading, and / or rusted at base	see door analysis
b	Exterior Doors - Door / Frame	hollow metal / hollow metal	building	stained, discolored, and / or rusting	see door analysis
10	Roof				
a	Roof	-	building	see roof report	
b	Roof - Soffits	wood	gymnasium	chipping and paint peeling	x
c	Roof - Fascia	metal	building	overall in good condition	
11	Miscellaneous				
a	Column	metal	at door #2	rusted and unlevel	x
Site Development					
12	Asphalt / Paving				
a	Parking Lots	asphalt	S site	surface weathering and / or cracking	
b	Hard Surface Play Area	asphalt	N site	surface weathering and / or cracking	
13	Site Concrete				
a	Sidewalks	concrete	site	overall in good condition	
14	Greenspace				
a	Greenspace	grass	site	overall in good condition	
15	Playground				
a	Playground Equipment	metal / composite	W site	overall in good condition	
b	Playground Surface	woodchips	W site	overall in good condition	



NORTHWOODS COMMUNITY ELEMENTARY: NEEDS ASSESSMENT



FIRST FLOOR PLAN
not to scale



NORTHWOODS COMM. ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Northwoods Community Elementary regarding compliance with building code requirements under the Americans with Disabilities Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Useable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and gathered through extensive tours and assessment of the existing building facility. Please see the following pages provide additional details.

At Northwoods Community Elementary, there are items that comply with current code requirements. Some of these items include:

- Providing ADA accessible route(s) of travel into the building
- Having accessible routes of travel through all areas of the building
- Door hardware meets ADA compliant standards
- Restroom(s) meet ADA compliant standards for wheelchair clearances
- Restroom(s) contain an ADA compliant stall
- Providing a 3'-0" length of workstation counter at an ADA compliant height

There are, however, items that do not meet current code requirements. Some of these items include:

- Not providing designated ADA accessible parking stalls
- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Toilet grab bars do not meet ADA compliant standards
- Not providing ADA required wing walls for protruding object(s)
- Not providing a 3'-0" length of transaction counter at an ADA compliant height

Items that do not meet current code requirements and occur at multiple instances throughout the building include:

- Toilet grab bars do not meet ADA compliant standards
- Not providing ADA required wing walls for protruding object(s)

Most concerning items that do not meet current code requirements include:

- Not providing ADA required wing walls for protruding object(s)

While it is not required by code, having an ADA-accessible unisex restroom within the facility is strongly recommended by the Bray Architects team. The building currently does not contain an ADA-accessible unisex restroom.

When considering potential solutions, potentially renovating or replacing items as needed to meet current code requirements, it is important to note that some of these items may be more easily resolved than others. These items may be integrated into a District-wide Capital Improvement Plan (CIP), and could be brought into compliance as a whole or spread out over time as needed. Some of these more manageable items may include:

- Replacement/relocation of toilet grab bars to meet ADA-compliant standards
- Providing ADA required wing walls for protruding object(s)
- Providing a 3'-0" length of transaction counter at an ADA compliant height

Other items may require more extensive renovation solutions in order to meet current code requirements. It is important to note that there may be instances where current building conditions may restrict the ability to resolve these items in an effective and budget-conscious manner. These items may include:

- Maintaining the proper push/pull clearances at doors
- Maintaining the proper maneuver clearances

NORTHWOODS COMM. ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Northwoods Community Elementary in regards to meeting building code requirements under the Americans with Disability Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Usable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and engineers gathered through extensive tours and assessment of the existing building facility.

No.	Northwoods Community Elementary	Area / Location	Analysis	Potential Solution	Identified in Plans
ADA Accessibility					
1	Building Entrance				
a	Accessible Route of Travel	building	there are ADA compliant accessible routes of travel into the building	-	
2	Parking				
a	ADA Parking Stalls	S parking lot	there are no designated ADA compliant stalls	provide ADA compliant stalls near an accessible entrance	
3	Ramps & Lifts				
a	Accessible Routes of Travel Between Floor Levels - Ramps	-	-	-	
b	Accessible Routes of Travel Between Floor Levels - Lifts	-	-	-	
c	Accessible Routes of Travel Between Floor Levels - Elevators	-	-	-	
4	Railings				
a	Stair Railings	-	-	-	
b	Ramp Railings	-	-	-	
5	Maneuvering, Thresholds, & Push / Pull				
a	Push / Pull	building	ADA compliant standards for push/pull are not met	renovate as needed	x
b	Maneuvering	building	ADA compliant standards for maneuvering are not met	renovate as needed	x
c	Thresholds	building	ADA compliant standards for thresholds appear to be met	-	
6	Door Hardware & Panic Hardware				
a	Door Hardware	building	door hardware is ADA compliant	-	
7	Restrooms				
a	5'-0" Wheelchair Clearance	building	ADA compliant standards for wheelchair clearance appear to be met	-	
b	ADA Accessible Stall	building	ADA compliant stall is provided	-	
c	Unisex Restrooms	building	at least (1) ADA compliant unisex restroom at each floor level is not met	renovate as needed to provide at least (1) ADA compliant unisex restroom at each floor level	
d	Grab Bars	building	ADA compliant standards for grab bars are not met	renovate to provide ADA compliant grab bars	x
e	Showers	-	-	-	
8	Drinking Fountains & Protruding Objects				
a	Drinking Fountains	building	drinking fountain appears to be at ADA compliant height	-	
b	Protruding Objects	building	ADA required wing walls are not present	provide ADA compliant wing walls	x
9	Casework, Transaction Counters, & Counters with Sinks				
a	Transaction Counters	main office	does not contain at least 3'-0" length of transaction counter at ADA compliant height	provide 3'-0" length of counter space at ADA compliant height	x
b	Workstation Counters	building	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
c	Counters with Sinks	building	appears to contain at least one sink at ADA compliant height	-	





FIRST FLOOR PLAN
not to scale



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ROOF DIAGRAM

ROOF PLAN
not to scale



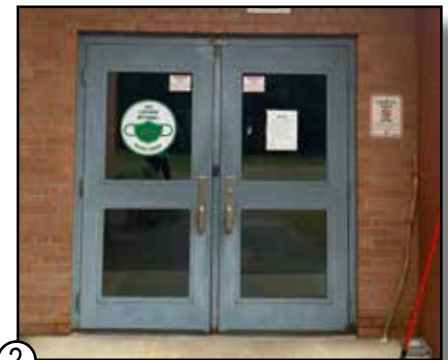
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NORTHWOODS COMMUNITY ELEMENTARY: EXTERIOR DOOR ANALYSIS

Northwoods Community Elementary			
No.	Door Type	Frame Type	Consider Replacement
1	Aluminum	Aluminum Storefront	x
2	Aluminum	Aluminum Storefront	x
3	Hollow Metal	Hollow Metal	x
4	Aluminum	Aluminum Storefront	x



① ALUMINUM DOORS & ALUMINUM STOREFRONT



② ALUMINUM DOORS & ALUMINUM STOREFRONT



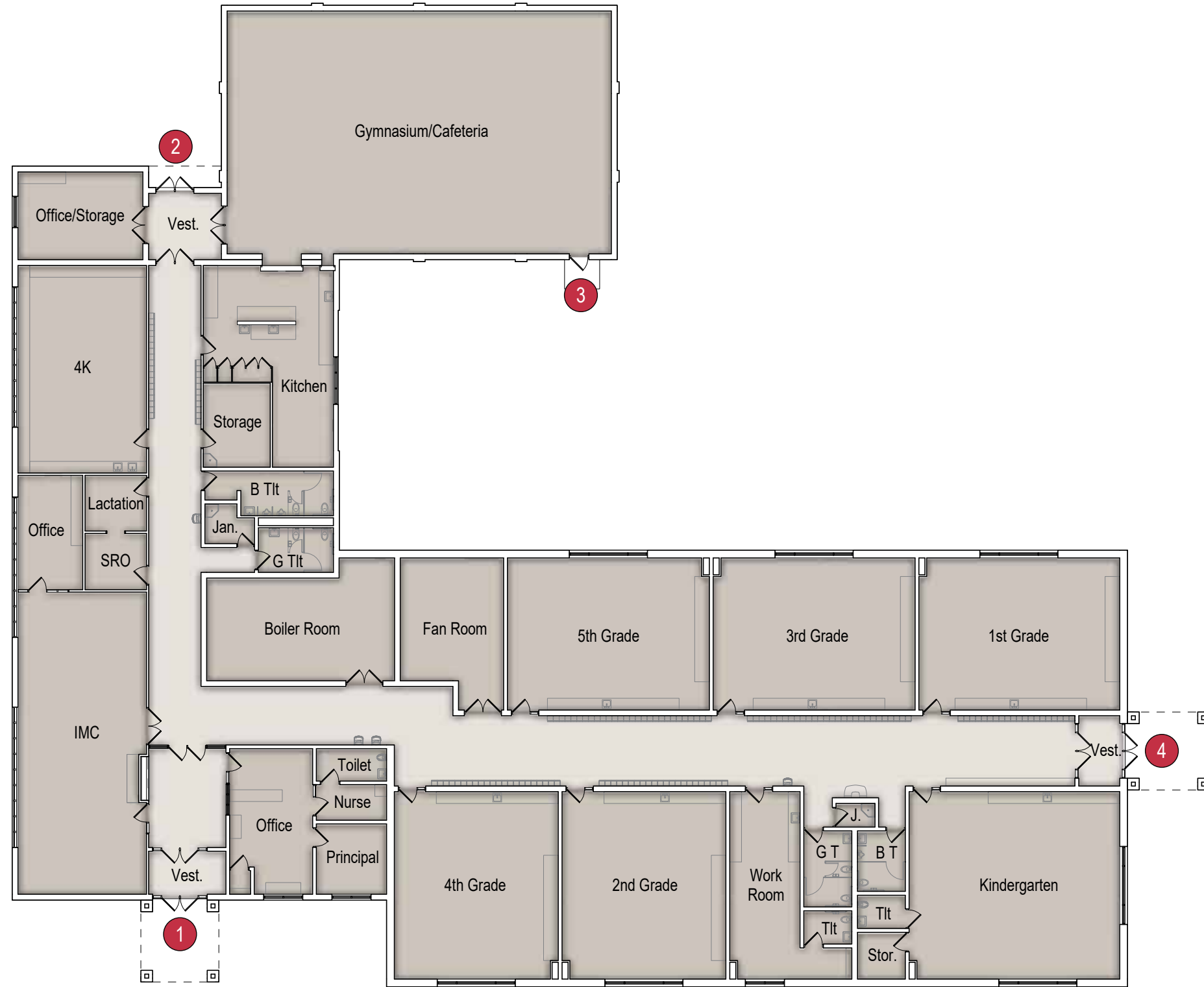
③ HOLLOW METAL DOOR & HOLLOW METAL FRAME



④ ALUMINUM DOORS & ALUMINUM STOREFRONT



NORTHWOODS COMMUNITY ELEMENTARY: EXTERIOR DOOR ANALYSIS



FIRST FLOOR PLAN
not to scale



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NORTHWOODS COMM. ELEMENTARY: EXTERIOR WINDOW ANALYSIS

Northwoods Community Elementary		
No.	Window Type	Consider Replacement
112	Aluminum w/ Double Pane	
112A	Aluminum w/ Double Pane	
109	Aluminum w/ Double Pane	
107	Aluminum w/ Double Pane	
106	Aluminum w/ Double Pane	
101	Aluminum w/ Double Pane	x paint peeling, frame rusted
101A	Aluminum w/ Double Pane	
100	Aluminum w/ Double Pane	
102	Aluminum w/ Double Pane	
108	Aluminum w/ Double Pane	
123	Aluminum w/ Double Pane	
123A	Glass Block	
122	Aluminum w/ Double Pane	
116	Aluminum w/ Double Pane	
114	Aluminum w/ Double Pane	



106 ALUMINUM W/ DOUBLE PANE



101 ALUMINUM W/ DOUBLE PANE



123 ALUMINUM W/ DOUBLE PANE



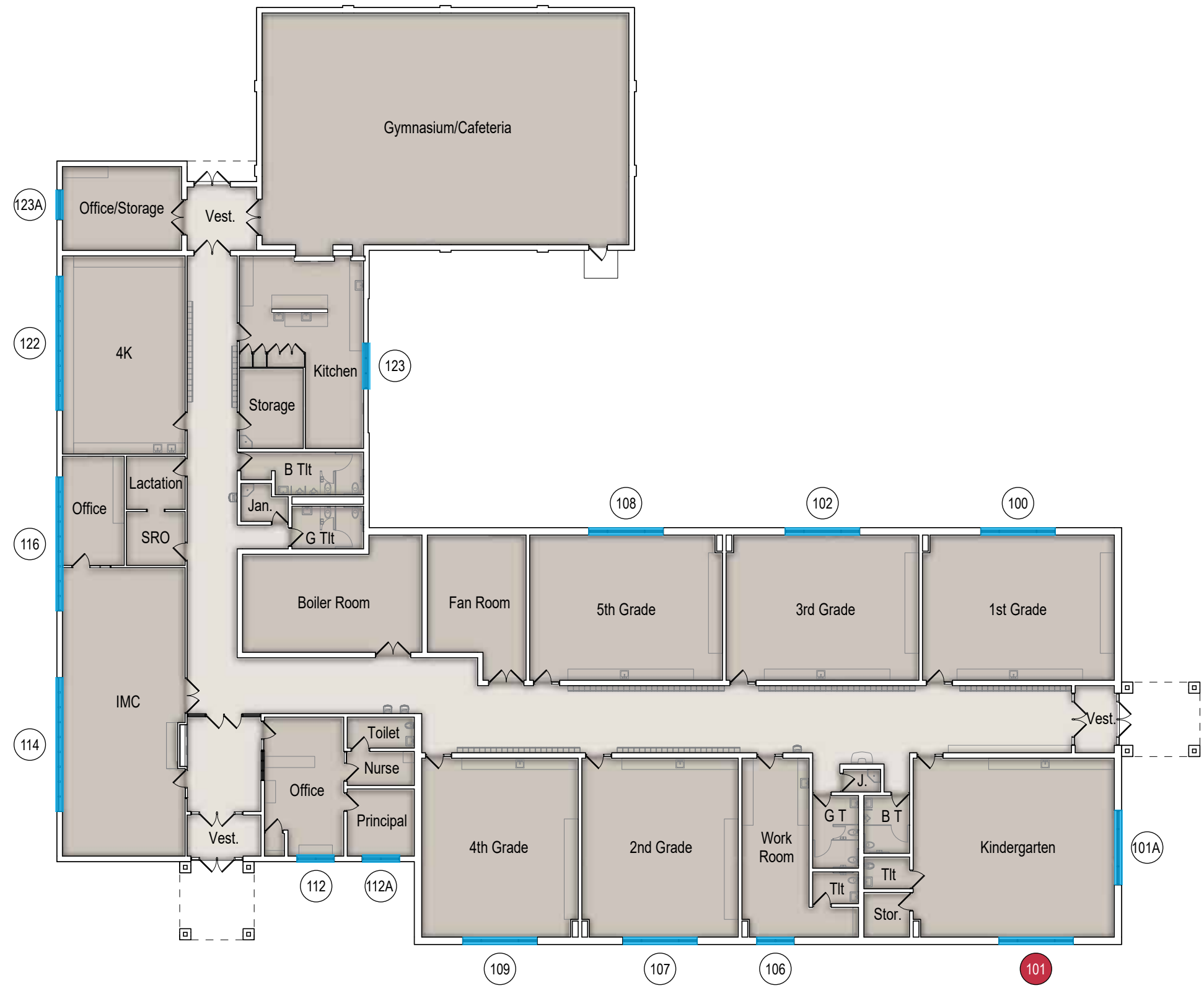
114 ALUMINUM W/ DOUBLE PANE



123A GLASS BLOCK



NORTHWOODS COMMUNITY ELEMENTARY: EXTERIOR WINDOW ANALYSIS



FIRST FLOOR PLAN
not to scale



NORTHWOODS COMMUNITY ELEMENTARY: FLOORING IDENTIFICATION

Color Key

- = VCT
- = Carpet
- = Tile
- = Concrete




FIRST FLOOR PLAN
not to scale





2 CRESCENT ELEMENTARY

Crescent Elementary provides a comprehensive program for 4K through 5th grade students.



BUILDING AREA: 44,402 sq. ft.
STUDENT POPULATION: 401 STUDENTS
GRADES SERVED: 4K, KINDERGARTEN, 1ST-5TH GRADES
SITE SIZE: 24.20 ACRES
PARKING: 142 STALLS

CRESCENT ELEMENTARY: BUILDING EVOLUTION

Crescent Elementary was originally constructed in 1961. There have been a few additions in 1980, 1987, 2004, 2019, and 2021. The largest of these was in 2021 when the original gymnasium was expanded and a classroom wing was added.

The following building evolution diagram outlines the building's development over time.



Crescent Elementary Main Office



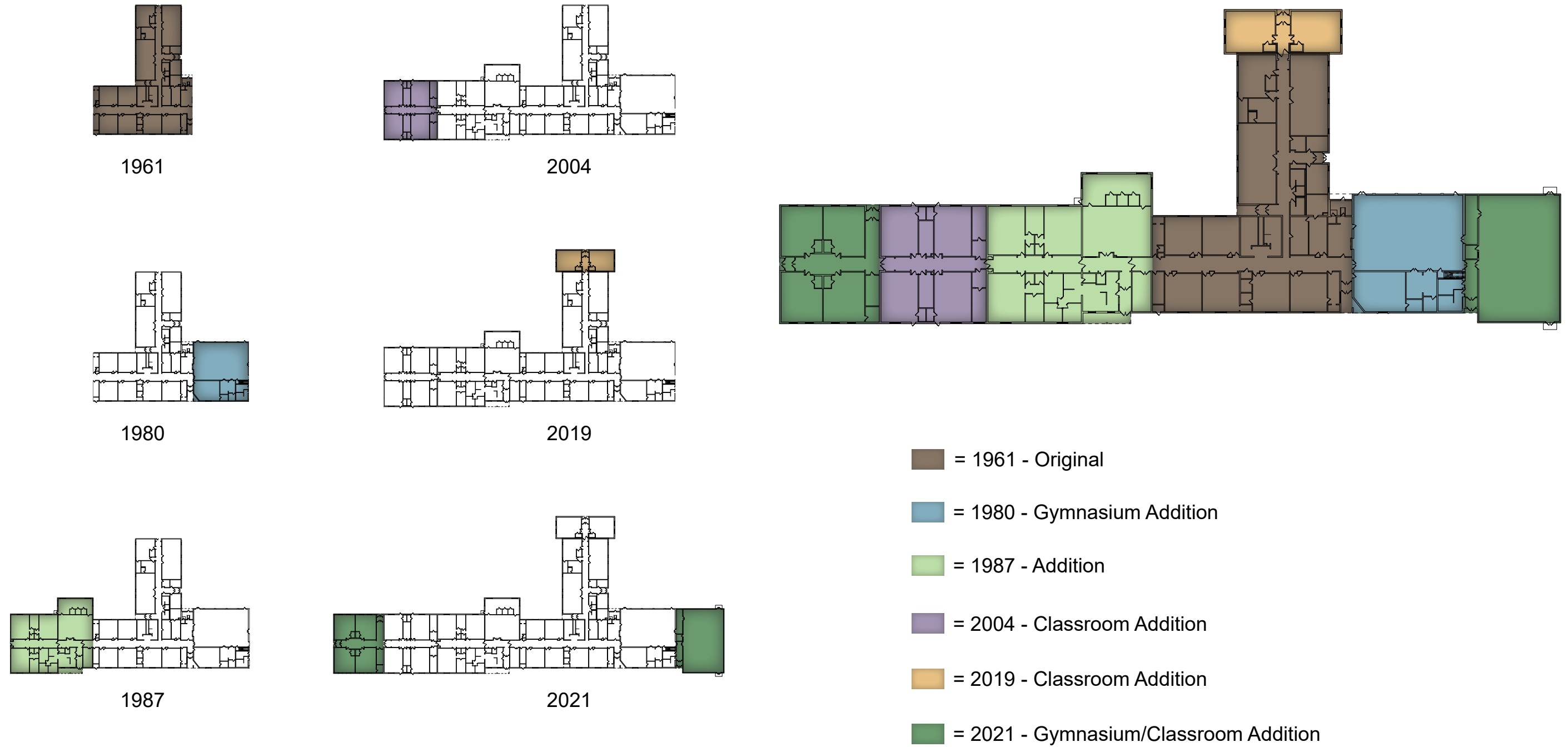
Crescent Elementary Classroom



Crescent Elementary Corridor



CRESCENT ELEMENTARY: BUILDING EVOLUTION



*Dates of construction based on information identified in existing building drawings or information provided by the District.



CRESCENT ELEMENTARY: EXISTING SITE PLAN



SITE PLAN
not to scale



CRESCENT ELEMENTARY: EXISTING FLOOR PLAN



FIRST FLOOR PLAN
not to scale



CRESCENT ELEMENTARY: NEEDS ASSESSMENT

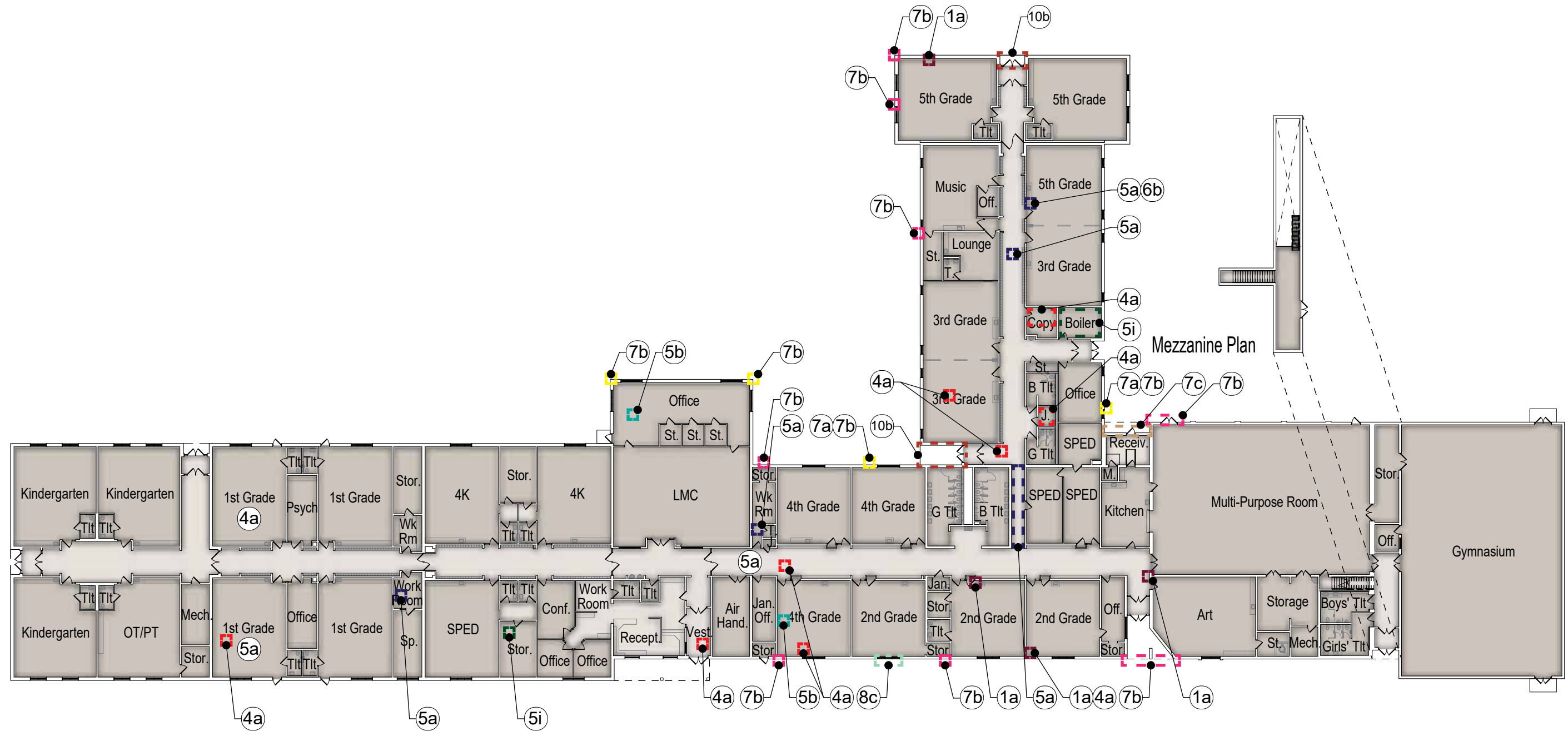
The following is a summary of potential improvements at Crescent Elementary. This is not intended to be a comprehensive list. The following information was obtained through notations made by Bray Architects at extensive tours of the building and grounds, as well as needs identified by District staff. **It is important to note that due to construction, limited data could be found on the areas under development.

No.	Crescent Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Infrastructure Improvement					
Building Interior					
1	Walls				
a	Walls	concrete block	building	overall in good condition; few instances of staining and / or cracking	x
b	Walls	fabric accordion partition	classrooms	overall in good condition; difficult to operate	
c	Walls	gypsum	building	overall in good condition; few instances of scuffs	
d	Walls	tile	toilet rooms, corridors	overall in good condition	
2	Window Interior & Openings				
a	Interior Window	wood	building	overall in good condition	
b	Interior Window Sills	laminated	building	overall in good condition	
3	Interior Doors				
a	Interior Doors - Door / Frame	wood / hollow metal	building	overall in good condition	
b	Interior Doors - Door / Frame	wood w/ grille / hollow metal	building	overall in good condition	
4	Ceilings				
a	Ceilings	acoustical ceiling tile	building	some instances of bowing, chipping, staining, and / or loose tracks	x
b	Ceilings	metal deck	mechanical spaces / gymnasium	overall in good condition	
5	Flooring				
a	Flooring	VCT	building	some instances of staining, cracking, separation, and / or bubbling	x
b	Flooring	carpet	building	overall in good condition; few instances of staining	x
c	Flooring	carpet tile	offices	overall in good condition	
d	Flooring	2" tile	toilet rooms / corridor	overall in good condition	
e	Flooring	6" tile	toilet rooms	overall in good condition	
f	Flooring	12" tile	toilet rooms	overall in good condition	
g	Flooring	quarry tile	kitchen	overall in good condition	
h	Flooring	rubber	gymnasium	overall in good condition	
i	Flooring	concrete	mechanical / janitor / storage	visibly stained, cracked, or chipped	x
j	Base	vinyl	building	overall in good condition	
k	Base	tile	toilet rooms / locker rooms	overall in good condition	
6	Miscellaneous				
a	Casework / Coat Hooks	wood veneer / laminate	corridors	overall in good condition	
b	Casework	wood veneer / laminate	classrooms	overall in good condition; some instances of missing laminate	x
c	Lockers	metal	corridors / offices	overall in good condition	
d	Bathroom Stall Partitions	metal / composite	toilet room	overall in good condition	
e	Cubbies	wood veneer	kindergarten classroom	overall in good condition	

CRESCENT ELEMENTARY: NEEDS ASSESSMENT

No.	Crescent Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Building Exterior / Envelope					
7	Walls				
a	Foundation Walls	concrete	building	overall in good condition; few instances of cracking	x
b	Exterior Walls	brick	building	some instances of cracking, chipping, and / or staining	x
c	Exterior Walls	painted concrete block	building	overall in good condition; few instances of cracking / chipping in block, paint chipping	x
d	Exterior Walls	metal paneling	building	overall in good condition	
8	Windows				
a	Windows	aluminum	building	visibly faded and discolored, sealant peeling, and / or some instances of worn screens	see window analysis
b	Windows - Sills	metal	building	overall in good condition	
c	Windows - Lintel	metal	building	overall in good condition; few instances of bent lintels	x
9	Doors				
a	Exterior Doors - Door / Frame	aluminum / aluminum storefront	building	overall in good condition	see door analysis
b	Exterior Doors - Door / Frame	hollow metal / hollow metal	building	overall in good condition; few instances of fading / discoloration	see door analysis
10	Roof				
a	Roof	-	building	see roof report	
b	Roof - Soffits	metal	door overhangs	overall in good condition; few instances of rusting and / or discoloring	x
d	Roof - Fascia	metal	building	overall in good condition	
11	Miscellaneous				
a	Exhausts	metal	building	overall in good condition	
Site Development					
12	Asphalt / Paving				
a	Parking Lots	asphalt	SW site	surface weathering and / or cracking	
b	Hard Surface Play Area	asphalt	W site	some instances of surface weathering and / or cracking	
13	Site Concrete				
a	Sidewalks	concrete	site	overall in good condition	
b	Door Stoops	concrete	site	overall in good condition; some instances of cracking	
14	Greenspace				
a	Greenspace	grass	site	overall in good condition	
15	Playground				
a	Playground Equipment	metal / composite	W site	overall in good condition	
b	Playground Surface	woodchips	W site	overall in good condition	





**Note: Due to construction, limited data could be found on the areas under development.

FIRST FLOOR PLAN
not to scale



CRESCENT ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Crescent Elementary regarding compliance with building code requirements under the Americans with Disabilities Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Useable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and gathered through extensive tours and assessment of the existing building facility. Please see the following pages provide additional details.

At Crescent Elementary, there are items that comply with current code requirements. Some of these items include:

- Providing ADA accessible route(s) of travel into the building
- Providing designated ADA accessible parking stalls
- Having accessible routes of travel through all areas of the building
- Providing a 3'-0" length of transaction counter at an ADA compliant height
- Providing a 3'-0" length of workstation counter at an ADA compliant height

There are, however, items that do not meet current code requirements. Some of these items include:

- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Door hardware does not meet ADA compliant standards
- Restroom(s) do not meet ADA compliant standards for wheelchair clearances
- Restroom(s) do not contain an ADA compliant stall
- Toilet grab bars do not meet ADA compliant standards

Items that do not meet current code requirements and occur at multiple instances throughout the building include:

- Toilet grab bars do not meet ADA compliant standards

Most concerning items that do not meet current code requirements include:

- Toilet grab bars do not meet ADA compliant standards

While it is not required by code, having an ADA-accessible unisex restroom within the facility is strongly recommended by the Bray Architects team. The building currently contains an ADA-accessible unisex restroom.

When considering potential solutions, potentially renovating or replacing items as needed to meet current code requirements, it is important to note that some of these items may be more easily resolved than others. These items may be integrated into a District-wide Capital Improvement Plan (CIP), and could be brought into compliance as a whole or spread out over time as needed. Some of these more manageable items may include:

- Replacement of door hardware with ADA-compliant hardware
- Replacement/relocation of toilet grab bars to meet ADA-compliant standards

Other items may require more extensive renovation solutions in order to meet current code requirements. It is important to note that there may be instances where current building conditions may restrict the ability to resolve these items in an effective and budget-conscious manner. These items may include:

- Maintaining the proper push/pull clearances at doors
- Maintaining the proper maneuver clearances
- Providing ADA compliant standards for wheelchair clearances at restroom(s)
- Providing an ADA compliant stall at restroom(s)

CRESCENT ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Crescent Elementary in regards to meeting building code requirements under the Americans with Disability Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Usable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and engineers gathered through extensive tours and assessment of the existing building facility.

No.	Crescent Elementary	Area / Location	Analysis	Potential Solution	Identified in Plans
ADA Accessibility					
1	Building Entrance				
a	Accessible Route of Travel	building	there are ADA compliant accessible routes of travel into the building	-	
2	Parking				
a	ADA Parking Stalls	S parking lot	there are designated ADA compliant stalls	-	
3	Ramps & Lifts				
a	Accessible Routes of Travel Between Floor Levels - Ramps	receiving	ADA compliant standards for ramps appear to be met	-	
b	Accessible Routes of Travel Between Floor Levels - Lifts	-	-	-	
c	Accessible Routes of Travel Between Floor Levels - Elevators	-	-	-	
4	Railings				
a	Stair Railings	-	-	-	
b	Ramp Railings	-	-	-	
5	Maneuvering, Thresholds, & Push / Pull				
a	Push / Pull	building	ADA compliant standards for push/pull are not met	renovate as needed	x
b	Maneuvering	building	ADA compliant standards for maneuvering are not met	renovate as needed	x
c	Thresholds	receiving	ADA compliant standards for thresholds are not met	renovate as needed	x
6	Door Hardware & Panic Hardware				
a	Door Hardware	building	door hardware is not ADA compliant	replace as needed	x
7	Restrooms				
a	5'-0" Wheelchair Clearance	building	ADA compliant standards for wheelchair clearance are not met	renovate as needed to provide ADA compliant standards for wheelchair clearance	x
b	ADA Accessible Stall	building	ADA compliant stall is not provided	renovate as needed to provide at least (1) ADA compliant stall for the group restroom	x
c	Unisex Restrooms	building	at least (1) ADA compliant unisex restroom at each floor level is appears to be met	-	
d	Grab Bars	building	ADA compliant standards for grab bars are not met	renovate to provide ADA compliant grab bars	x
e	Showers	-	-	-	
8	Drinking Fountains & Protruding Objects				
a	Drinking Fountains	building	drinking fountain appears to be at ADA compliant height	-	
b	Protruding Objects	-	-	-	
9	Casework, Transaction Counters, & Counters with Sinks				
a	Transaction Counters	-	-	-	
b	Workstation Counters	building	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
c	Counters with Sinks	building	appears to contain at least one sink at ADA compliant height	-	





**Note: Due to construction, limited data could be found on the areas under development.

FIRST FLOOR PLAN
not to scale



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ROOF DIAGRAM

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not to scale



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CRESCENT ELEMENTARY: EXTERIOR DOOR ANALYSIS

Crescent Elementary			
No.	Door Type	Frame Type	Consider Replacement
1	Aluminum	Aluminum Storefront	
2	Aluminum	Aluminum Storefront	
3	Aluminum	Aluminum Storefront	
4	Aluminum	Aluminum Storefront	
5	Aluminum	Aluminum Storefront	
6	Aluminum	Aluminum Storefront	
7	Hollow Metal	Hollow Metal	x
8	Aluminum	Aluminum Storefront	
9	Aluminum	Aluminum Storefront	
10	Aluminum	Aluminum Storefront	
11	Hollow Metal	Hollow Metal	
12	Hollow Metal	Hollow Metal	x
13	Hollow Metal	Hollow Metal	x
13A	Hollow Metal	Hollow Metal	
13B	Hollow Metal	Hollow Metal	
13C	Aluminum	Aluminum Storefront	
14	Aluminum	Aluminum Storefront	x
14A	Hollow Metal	Hollow Metal	



1 ALUMINUM DOORS & ALUMINUM STOREFRONT



4 ALUMINUM DOORS & ALUMINUM STOREFRONT



7 HOLLOW METAL DOOR & HOLLOW METAL FRAME



14A HOLLOW METAL DOOR & HOLLOW METAL FRAME



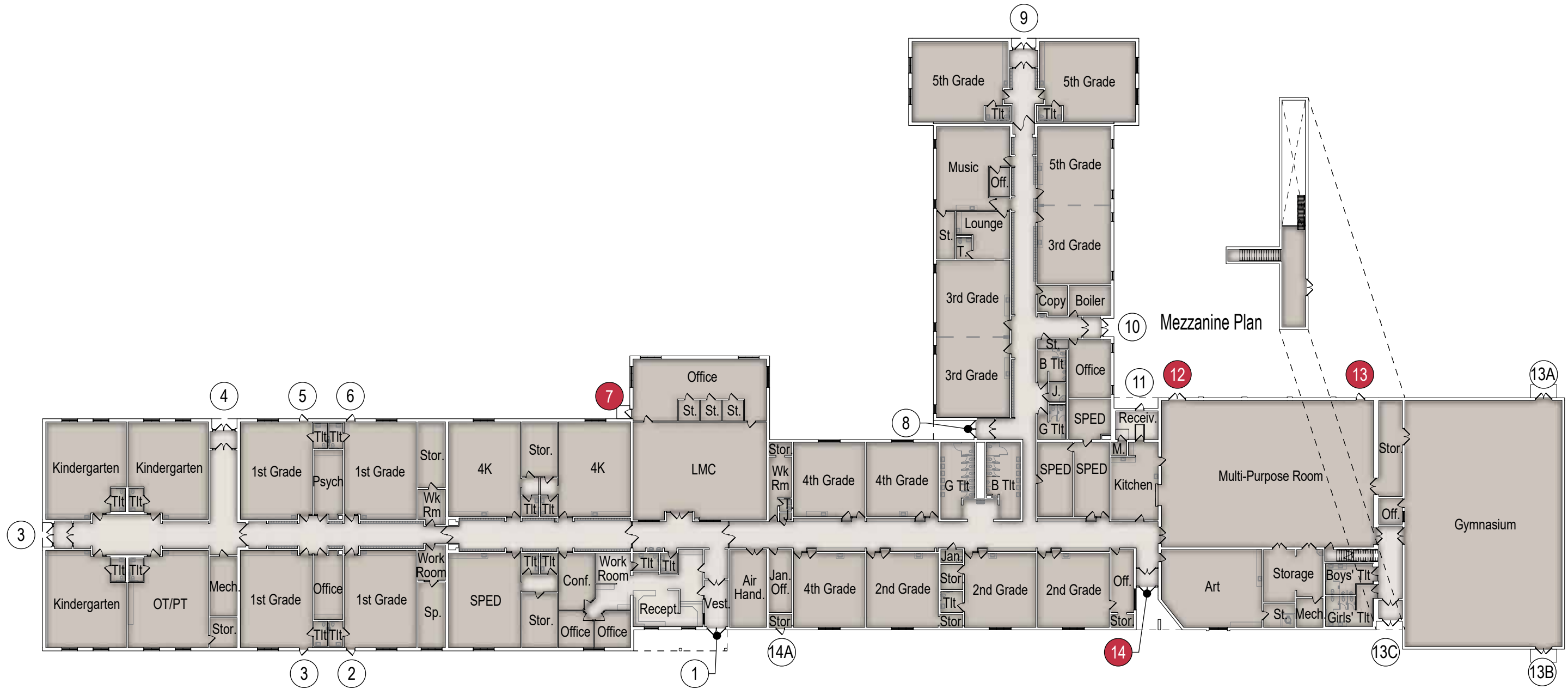
12 HOLLOW METAL DOORS & HOLLOW METAL FRAME



9 ALUMINUM DOORS & ALUMINUM STOREFRONT



CRESCENT ELEMENTARY: EXTERIOR DOOR ANALYSIS



FIRST FLOOR PLAN
not to scale



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CRESCENT ELEMENTARY: EXTERIOR WINDOW ANALYSIS

Crescent Elementary		
No.	Window Type	Consider Replacement
111	Aluminum w/ Double Pane	
109	Aluminum w/ Double Pane	
107	Aluminum w/ Double Pane	x discolored, paint peeling
105	Aluminum w/ Double Pane	
103	Aluminum w/ Double Pane	
101	Aluminum w/ Double Pane	x discolored
208	Aluminum w/ Double Pane	
208A	Aluminum w/ Double Pane	
214	Aluminum w/ Double Pane	x torn screens
216	Aluminum w/ Double Pane	
218	Aluminum w/ Double Pane	
219	Aluminum w/ Double Pane	
219A	Aluminum w/ Double Pane	
217	Aluminum w/ Double Pane	
209	Aluminum w/ Double Pane	
207	Aluminum w/ Double Pane	
108	Aluminum w/ Double Pane	
110	Aluminum w/ Double Pane	
110A	Aluminum w/ Double Pane	
118A	Aluminum w/ Double Pane	
120	Aluminum w/ Double Pane	
122	Aluminum w/ Double Pane	
126	Aluminum w/ Double Pane	paint peeling
130	Aluminum w/ Double Pane	
132	Aluminum w/ Double Pane	
134	Aluminum w/ Double Pane	
136	Aluminum w/ Double Pane	
135	Aluminum w/ Double Pane	
131	Aluminum w/ Double Pane	
127	Aluminum w/ Double Pane	
125	Aluminum w/ Double Pane	x visibly worn, discolored
123	Aluminum w/ Double Pane	
119	Aluminum w/ Double Pane	
117C	Aluminum w/ Double Pane	
117	Aluminum w/ Double Pane	



111 ALUMINUM W/ DOUBLE PANE



101 ALUMINUM W/ DOUBLE PANE



208 ALUMINUM W/ DOUBLE PANE



134 ALUMINUM W/ DOUBLE PANE



118A ALUMINUM W/ DOUBLE PANE



116 ALUMINUM W/ DOUBLE PANE



CRESCENT ELEMENTARY: EXTERIOR WINDOW ANALYSIS



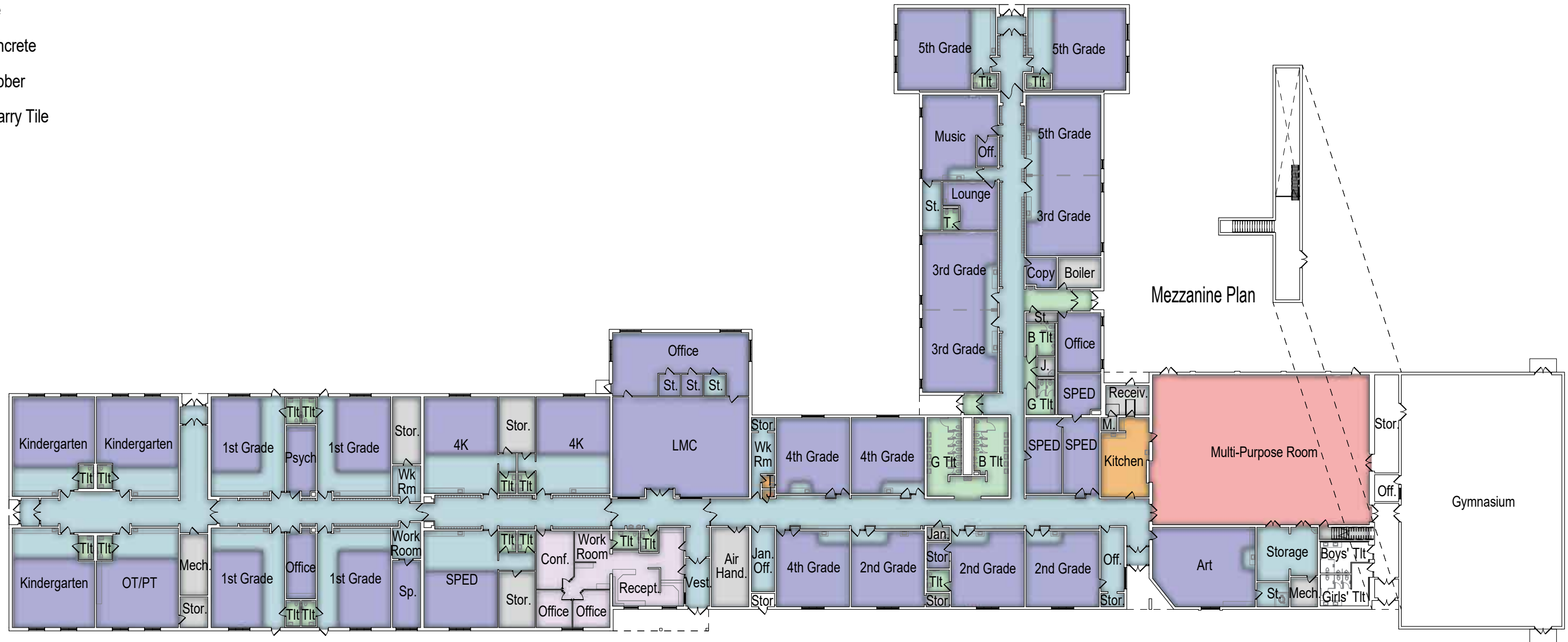
FIRST FLOOR PLAN
not to scale



CRESCENT ELEMENTARY: FLOORING IDENTIFICATION

Color Key

- = VCT
- = Carpet
- = Carpet Tile
- = Tile
- = Concrete
- = Rubber
- = Quarry Tile



**Note: Due to construction, limited data could be found on the areas under development.

FIRST FLOOR PLAN
not to scale



3 PELICAN ELEMENTARY

Pelican Elementary provides a comprehensive program for 4K through 5th grade students.

BUILDING AREA: 45,935 sq. ft.
STUDENT POPULATION: 329 STUDENTS
GRADES SERVED: 4K, KINDERGARTEN, 1ST-5TH GRADES
SITE SIZE: 15.93 ACRES
PARKING: 72 STALLS



PELICAN SCHOOL



WELCOME

PELICAN ELEMENTARY: BUILDING EVOLUTION

Pelican Elementary was originally constructed in 1990. There have been a couple additions in 1994 and 2010. In conjunction, they expanded the school by a total of twelve classrooms.

The following building evolution diagram outlines the building's development over time.



Pelican Elementary Main Office



Pelican Elementary Classroom

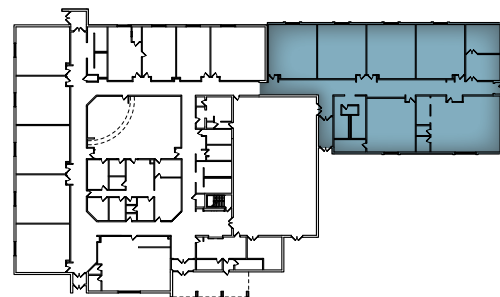


Pelican Elementary Corridor

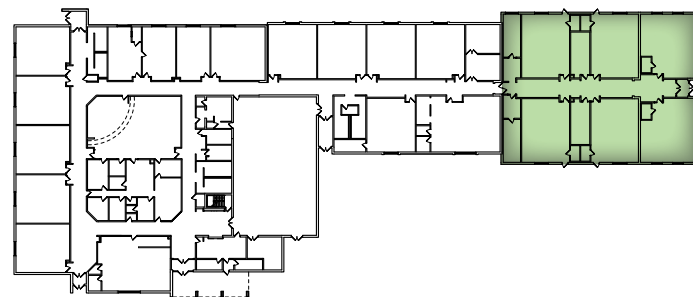




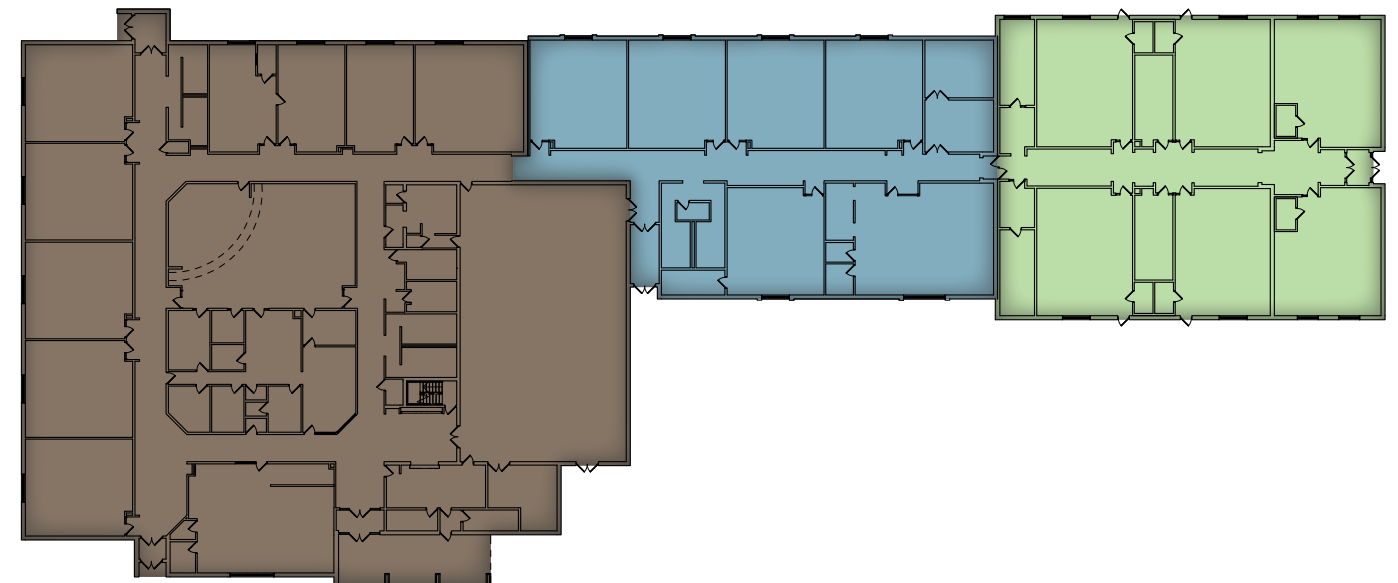
1990



1994



2010



- = 1990 - Original
- = 1994 - Classroom Addition
- = 2010 - Classroom Addition

*Dates of construction based on information identified in existing building drawings or information provided by the District.



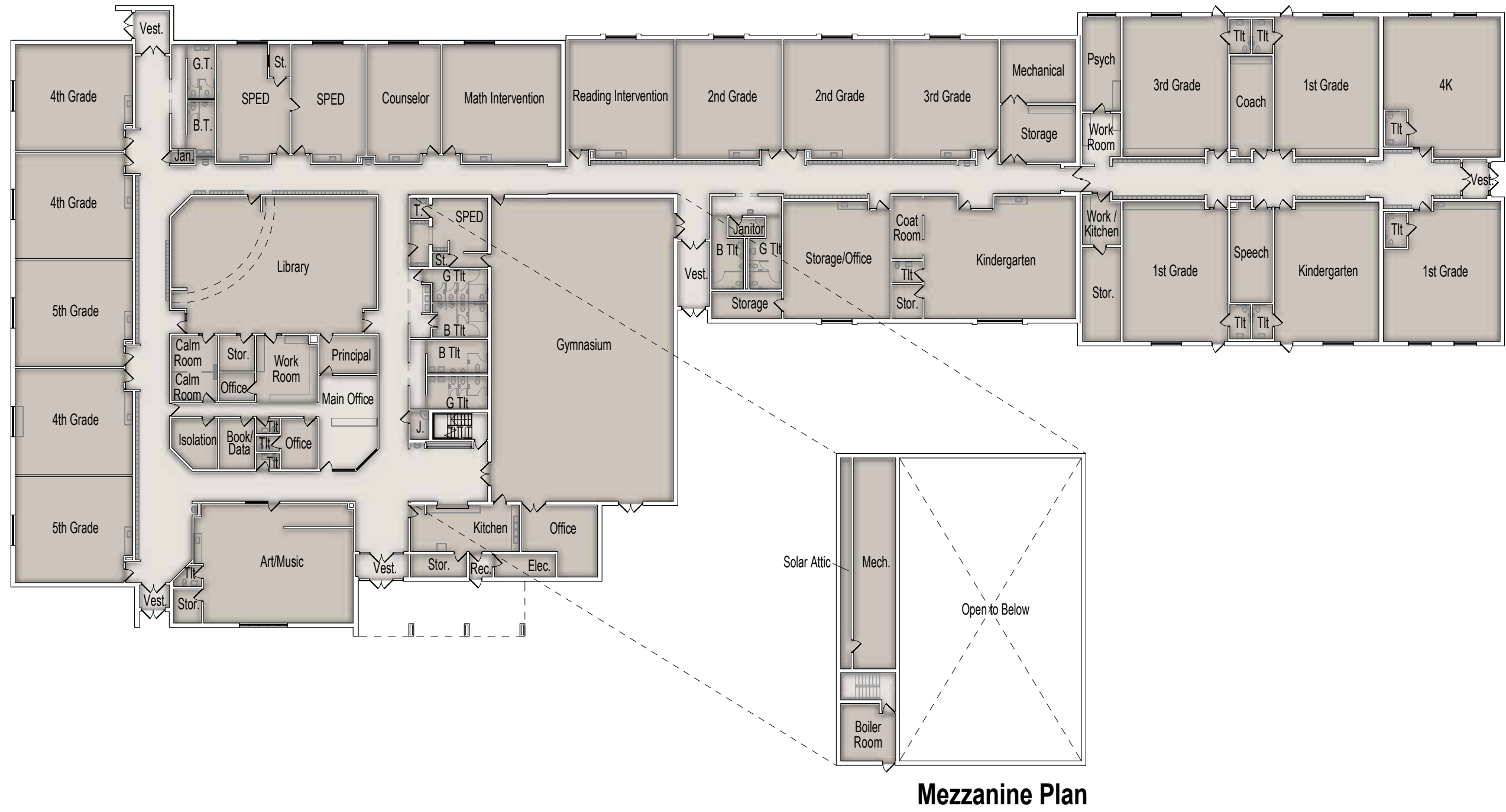
PELICAN ELEMENTARY: EXISTING SITE PLAN



SITE PLAN
not to scale



PELICAN ELEMENTARY: EXISTING FLOOR PLAN



FIRST FLOOR PLAN
not to scale

Mezzanine Plan



PELICAN ELEMENTARY: NEEDS ASSESSMENT

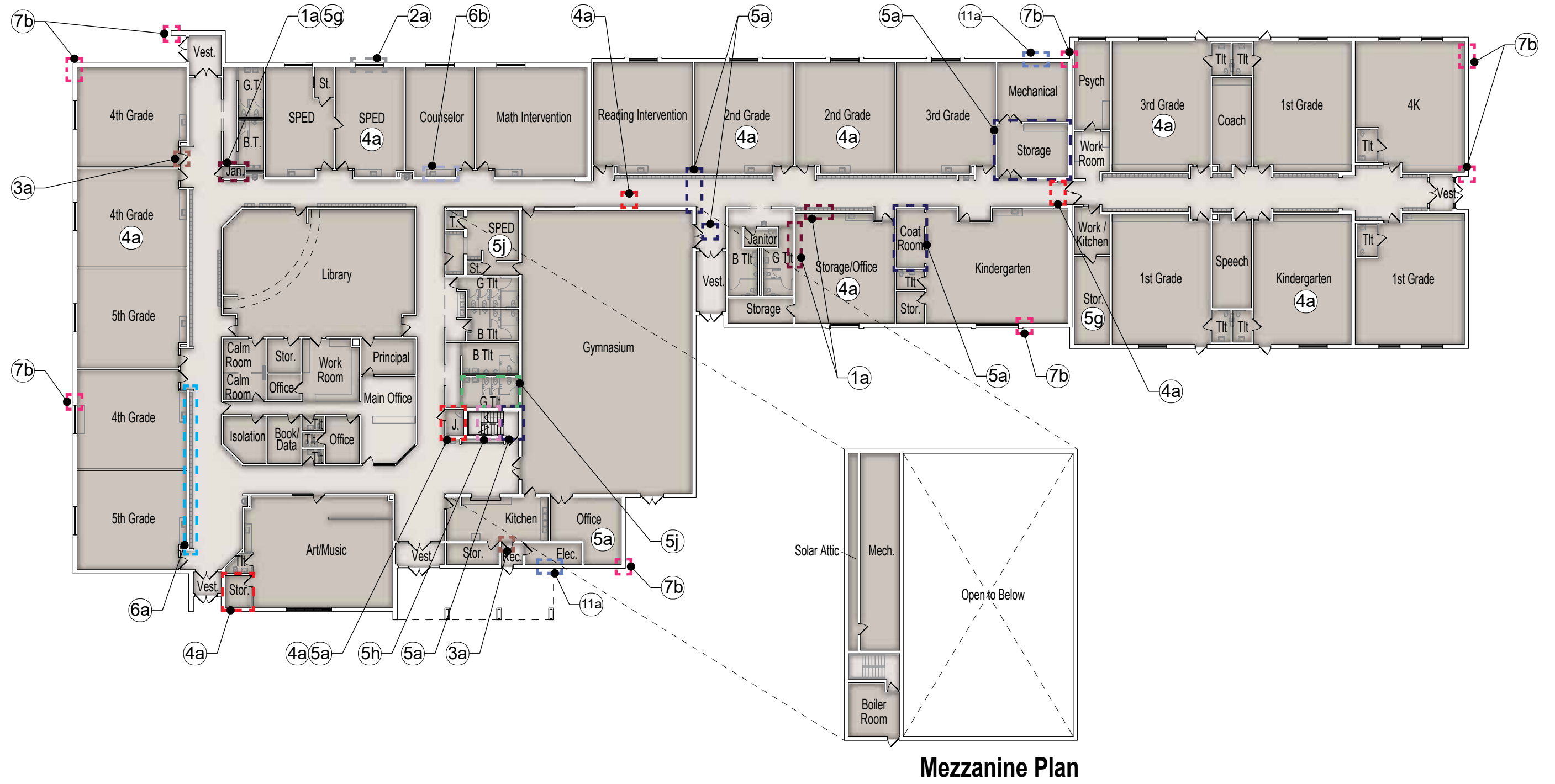
The following is a summary of potential improvements at Pelican Elementary. This is not intended to be a comprehensive list. The following information was obtained through notations made by Bray Architects at extensive tours of the building and grounds, as well as needs identified by District staff.

No.	Pelican Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Infrastructure Improvement					
Building Interior					
1	Walls				
a	Walls	concrete block	building	overall in good condition; few instances of chipping, staining, holes	x
b	Walls	fabric accordion partition	library	overall in good condition	
c	Walls	gypsum	building	overall in good condition; few instances of scuffs / marks	
d	Walls	tile	toilet rooms, corridors	visibly stained, chipped, and / or has stained grout	
2	Window Interior & Openings				
a	Interior Window	wood	building	overall in good condition; instances of broken hardware	x
b	Interior Window Sills	laminated	building	overall in good condition; few instances of chipping, broken caulking	
3	Interior Doors				
a	Interior Doors - Door / Frame	wood / hollow metal	building	overall in good condition; some instances of chipping / peeling on frame	x
b	Interior Doors - Door / Frame	wood w/ grille / hollow metal	building	overall in good condition	
4	Ceilings				
a	Ceilings	acoustical ceiling tile	building	some instances of bowing, chipping, and / or staining	x
b	Ceilings	metal deck	mechanical spaces / gymnasium	overall in good condition	
5	Flooring				
a	Flooring	VCT	building	some instances of staining, cracking, and separation	x
b	Flooring	carpet	building	overall in good condition	
c	Flooring	2" tile	toilet rooms	visibly stained and / or has stained grout	
d	Flooring	quarry tile	kitchen	visibly stained and / or has stained grout	
e	Flooring	rubber	gymnasium	overall in good condition; some signs of wear	
f	Flooring	raised rubber	vestibule	visibly worn and discolored / stained	
g	Flooring	concrete	mechanical / janitor / electrical rooms	visibly stained, cracked, or chipped	x
h	Stair Treads	metal	mechanical mezzanine	visibly scratched, stained, and rusted	x
i	Base	vinyl	building	overall in good condition; some instances of damage / missing boards	
j	Base	tile	toilet rooms / locker rooms	visibly chipped, stained, and / or has stained grout	x
6	Miscellaneous				
a	Casework	wood	corridors	overall in good condition; some signs of wear, dated	x

PELICAN ELEMENTARY: NEEDS ASSESSMENT

No.	Pelican Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Infrastructure Improvement					
Building Interior					
b	Casework	wood veneer / laminate	classrooms	overall in good condition; some signs of wear / damage	
c	Lockers	metal	corridors / offices	overall in good condition	
d	Bathroom Stall Partitions	metal / composite	toilet room	overall in good condition; few instances of paint chipping / rusting	
e	Railings	metal	mechanical mezzanine	visibly scratched and / or has paint peeling	
f	Cubbies	wood veneer	kindergarten classroom	overall in good condition	
Building Exterior / Envelope					
7 Walls					
a	Foundation Walls	concrete	building	overall in good condition	
b	Exterior Walls	painting concrete block	building	overall in good condition; few instances of cracking / chipping in block, paint chipping	x
8 Windows					
a	Windows	aluminum	building	visibly faded and discolored, some instances of torn screens	see window analysis
b	Windows - Sills	metal	building	visibly faded and discolored	
c	Windows - Lintel	metal	building	overall in good condition	
9 Doors					
a	Exterior Doors - Door / Frame	aluminum / aluminum storefront	building	overall in good condition; few instances of scratching / fading	see door analysis
b	Exterior Doors - Door / Frame	hollow metal / hollow metal	building	overall in good condition; few instances of fading / discoloration	see door analysis
10 Roof					
a	Roof	-	building	see roof report	
b	Roof - Soffits	vinyl	door overhangs	overall in good condition	
c	Roof - Soffits	metal	front entry overhang	overall in good condition	
d	Roof - Fascia	metal	building	overall in good condition	
11 Miscellaneous					
a	Exhausts	metal	building	some instances of paint chipping and rust	x
Site Development					
12 Asphalt / Paving					
a	Parking Lots	asphalt	E site	surface weathering and / or cracking	
b	Hard Surface Play Area	asphalt	N site	some instances of surface weathering and / or cracking	
c	Pavers	stone	garden area	overall in good condition	
13 Site Concrete					
a	Sidewalks	concrete	site	visibly cracking and / or stained	
b	Door Stoops	concrete	site	overall in good condition; some instances of cracking and / or staining	
c	Stairs	concrete	site	overall in good condition	
14 Greenspace					
a	Greenspace	grass	site	overall in good condition	
15 Playground					
a	Playground Equipment	metal / composite	W site	overall in good condition	
b	Playground Surface	woodchips	W site	overall in good condition	





FIRST FLOOR PLAN
not to scale



PELICAN ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Pelican Elementary regarding compliance with building code requirements under the Americans with Disabilities Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Useable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and gathered through extensive tours and assessment of the existing building facility. Please see the following pages provide additional details.

At Pelican Elementary, there are items that comply with current code requirements. Some of these items include:

- Providing ADA accessible route(s) of travel into the building
- Providing designated ADA accessible parking stalls
- Having accessible routes of travel through all areas of the building
- Door hardware meets ADA compliant standards
- Providing ADA required wing walls for protruding object(s)
- Providing a 3'-0" length of transaction counter at an ADA compliant height
- Providing a 3'-0" length of workstation counter at an ADA compliant height

There are, however, items that do not meet current code requirements. Some of these items include:

- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Restroom(s) do not meet ADA compliant standards for wheelchair clearances
- Restroom(s) do not contain an ADA compliant stall
- Toilet grab bars do not meet ADA compliant standards

Items that do not meet current code requirements and occur at multiple instances throughout the building include:

- Not maintaining the proper maneuvering clearances
- Toilet grab bars do not meet ADA compliant standards

Most concerning items that do not meet current code requirements include:

- Not maintaining the proper maneuvering clearances

While it is not required by code, having an ADA-accessible unisex restroom within the facility is strongly recommended by the Bray Architects team. The building currently does not contain an ADA-accessible unisex restroom.

When considering potential solutions, potentially renovating or replacing items as needed to meet current code requirements, it is important to note that some of these items may be more easily resolved than others. These items may be integrated into a District-wide Capital Improvement Plan (CIP), and could be brought into compliance as a whole or spread out over time as needed. Some of these more manageable items may include:

- Replacement/relocation of toilet grab bars to meet ADA-compliant standards

Other items may require more extensive renovation solutions in order to meet current code requirements. It is important to note that there may be instances where current building conditions may restrict the ability to resolve these items in an effective and budget-conscious manner. These items may include:

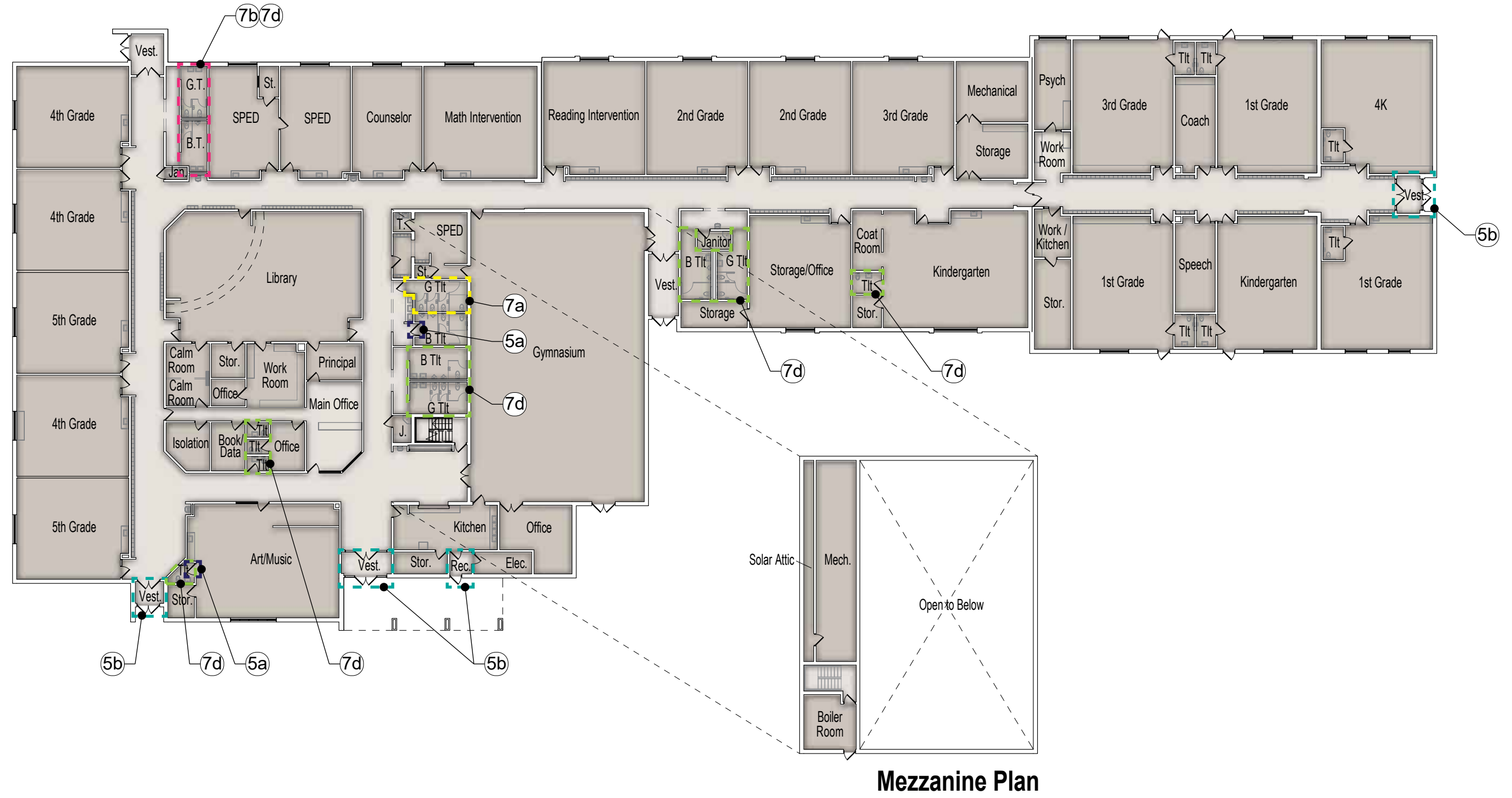
- Maintaining the proper push/pull clearances at doors
- Maintaining the proper maneuver clearances
- Providing ADA compliant standards for wheelchair clearances at restroom(s)
- Providing an ADA compliant stall at restroom(s)

PELICAN ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Pelican Elementary in regards to meeting building code requirements under the Americans with Disability Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Usable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and engineers gathered through extensive tours and assessment of the existing building facility.

No.	Pelican Elementary	Area / Location	Analysis	Potential Solution	Identified in Plans
ADA Accessibility					
1	Building Entrance				
a	Accessible Route of Travel	building	there are ADA compliant accessible routes of travel into the building	-	
2	Parking				
a	ADA Parking Stalls	parking lot	there are designated ADA compliant stalls	-	
3	Ramps & Lifts				
a	Accessible Routes of Travel Between Floor Levels - Ramps	-	-	-	
b	Accessible Routes of Travel Between Floor Levels - Lifts	-	-	-	
c	Accessible Routes of Travel Between Floor Levels - Elevators	-	-	-	
4	Railings				
a	Stair Railings	-	-	-	
b	Ramp Railings	-	-	-	
5	Maneuvering, Thresholds, & Push / Pull				
a	Push / Pull	building	ADA compliant standards for push/pull are not met	renovate as needed	x
b	Maneuvering	receiving, vestibules	ADA compliant standards for maneuvering are not met	renovate as needed	x
c	Thresholds	building	ADA compliant standards for thresholds appear to be met	-	
6	Door Hardware & Panic Hardware				
a	Door Hardware	building	door hardware is ADA compliant	-	
7	Restrooms				
a	5'-0" Wheelchair Clearance	building	ADA compliant standards for wheelchair clearance are not met	renovate as needed	x
b	ADA Accessible Stall	building	ADA compliant stall is not provided	renovate as needed to provide ADA compliant stall	x
c	Unisex Restrooms	building	at least (1) ADA compliant unisex restroom at each floor level is not met	renovate as needed to provide at least (1) ADA compliant unisex restroom at each floor level	
d	Grab Bars	building	ADA compliant standards for grab bars are not met	renovate to provide ADA compliant grab bars	x
e	Showers	-	-	-	
8	Drinking Fountains & Protruding Objects				
a	Drinking Fountains	building	drinking fountain appears to be at ADA compliant height	-	
b	Protruding Objects	building	ADA required wing walls are present	-	
9	Casework, Transaction Counters, & Counters with Sinks				
a	Transaction Counters	main office	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
b	Workstation Counters	building	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
c	Counters with Sinks	building	appears to contain at least one sink at ADA compliant height	-	





FIRST FLOOR PLAN
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Mezzanine Plan



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ROOF DIAGRAM

ROOF PLAN
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PELICAN ELEMENTARY: EXTERIOR DOOR ANALYSIS

Pelican Elementary			
No.	Door Type	Frame Type	Consider Replacement
1	Fiber Reinforced Plastic	Aluminum Storefront	
2	Fiber Reinforced Plastic	Aluminum Storefront	
3	Fiber Reinforced Plastic	Aluminum Storefront	
4	Aluminum	Aluminum	
5	Aluminum	Aluminum	
6	Aluminum	Aluminum Storefront	
7	Aluminum	Aluminum	x
8	Aluminum	Aluminum	x
9	Aluminum	Aluminum Storefront	
10	Hollow Metal	Hollow Metal	x
11	Hollow Metal	Hollow Metal	x
12	Hollow Metal	Hollow Metal	



① FRP DOORS & ALUMINUM STOREFRONT



③ FRP DOORS & ALUMINUM STOREFRONT



⑦ ALUMINUM DOOR & ALUMINUM FRAME



⑪ HOLLOW METAL DOOR & HOLLOW METAL FRAME



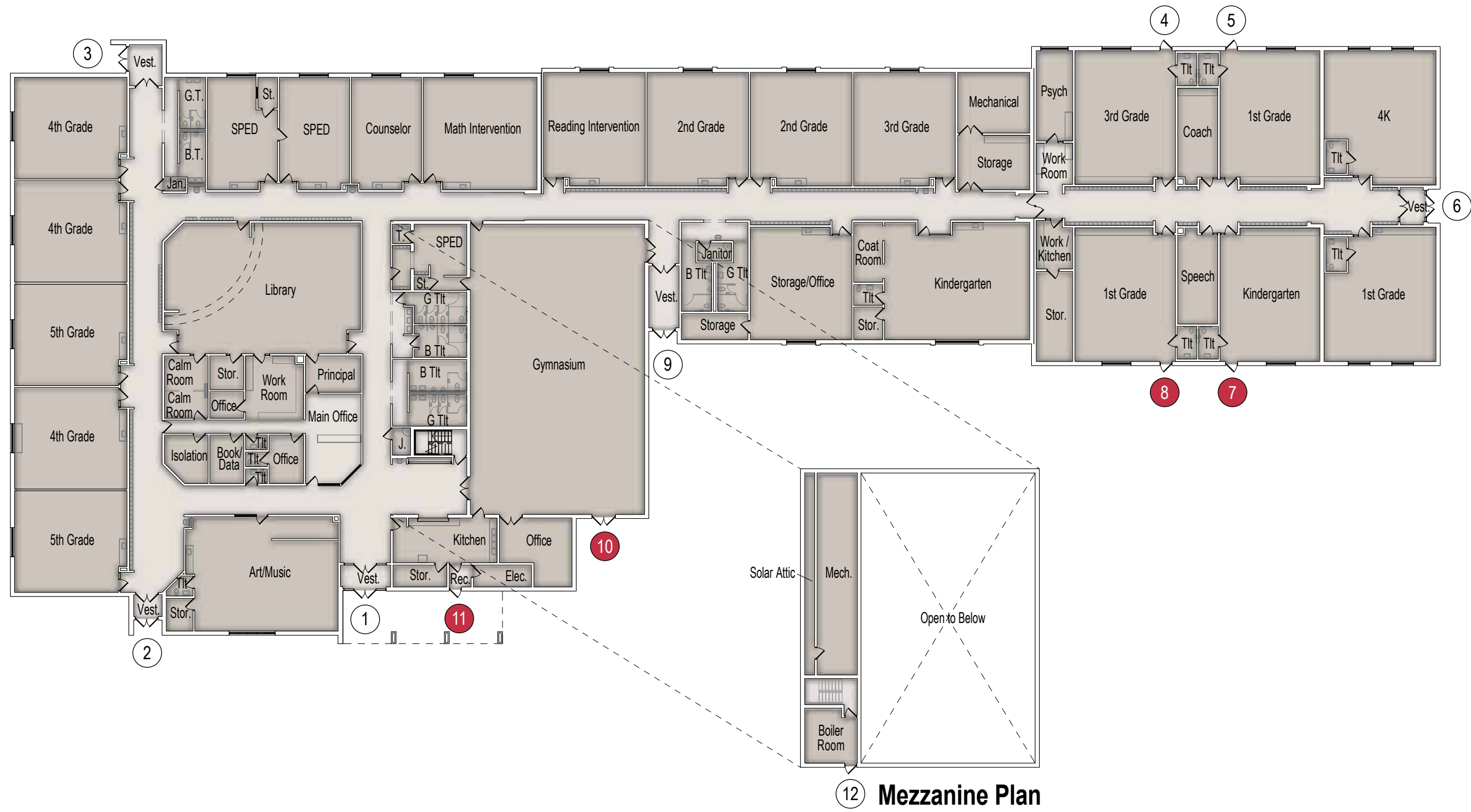
⑩ HOLLOW METAL DOORS & HOLLOW METAL FRAME



⑨ ALUMINUM DOORS & ALUMINUM STOREFRONT



PELICAN ELEMENTARY: EXTERIOR DOOR ANALYSIS



FIRST FLOOR PLAN
not to scale



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PELICAN ELEMENTARY: EXTERIOR WINDOW ANALYSIS

Pelican Elementary		
No.	Window Type	Consider Replacement
111	Aluminum w/ Double Pane	
115	Aluminum w/ Double Pane	
116	Aluminum w/ Double Pane	
117	Aluminum w/ Double Pane	
118	Aluminum w/ Double Pane	
119	Aluminum w/ Double Pane	
126	Aluminum w/ Double Pane	
127	Aluminum w/ Double Pane	
128	Aluminum w/ Double Pane	
129	Aluminum w/ Double Pane	
130	Aluminum w/ Double Pane	x discolored, sealant cracking, frame dented
131	Aluminum w/ Double Pane	
132	Aluminum w/ Double Pane	x discolored, sealant cracking
133	Aluminum w/ Double Pane	x discolored, sealant cracking
150A	Aluminum w/ Double Pane	
152	Aluminum w/ Double Pane	x discolored, torn screen
156	Aluminum w/ Double Pane	x discolored, screens worn/torn
158	Aluminum w/ Double Pane	
159	Aluminum w/ Double Pane	
157	Aluminum w/ Double Pane	
153	Aluminum w/ Double Pane	
135	Aluminum w/ Double Pane	
136	Aluminum w/ Double Pane	



118 ALUMINUM W/ DOUBLE PANE



130 ALUMINUM W/ DOUBLE PANE



132 ALUMINUM W/ DOUBLE PANE



136 ALUMINUM W/ DOUBLE PANE



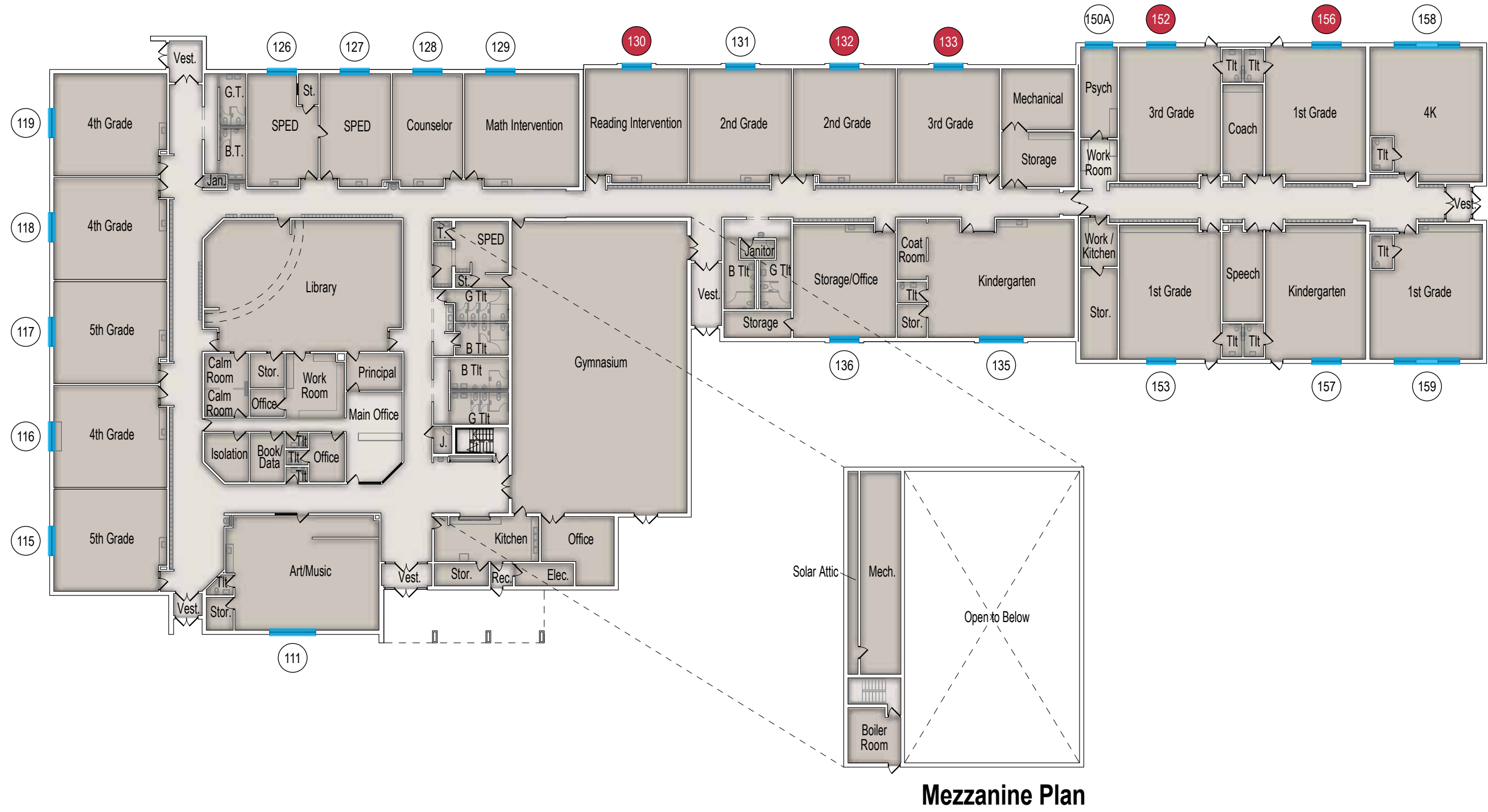
135 ALUMINUM W/ DOUBLE PANE



150A ALUMINUM W/ DOUBLE PANE



PELICAN ELEMENTARY: EXTERIOR WINDOW ANALYSIS



FIRST FLOOR PLAN
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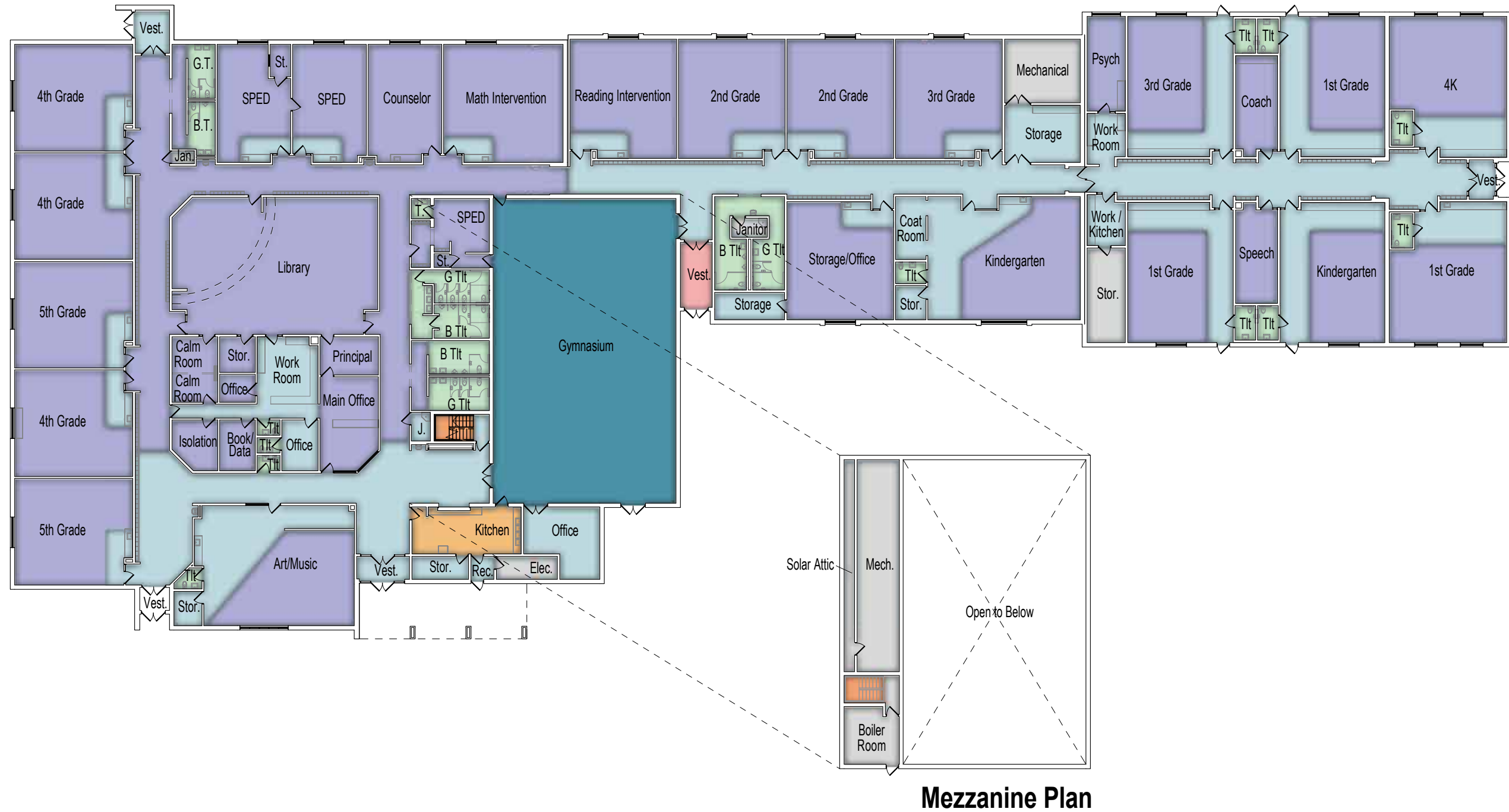
Mezzanine Plan



PELICAN ELEMENTARY: FLOORING IDENTIFICATION

Color Key

- = VCT
- = Carpet
- = Tile
- = Concrete
- = Rubber
- = Quarry Tile
- = Sheet Vinyl
- = Metal



FIRST FLOOR PLAN
not to scale

Mezzanine Plan

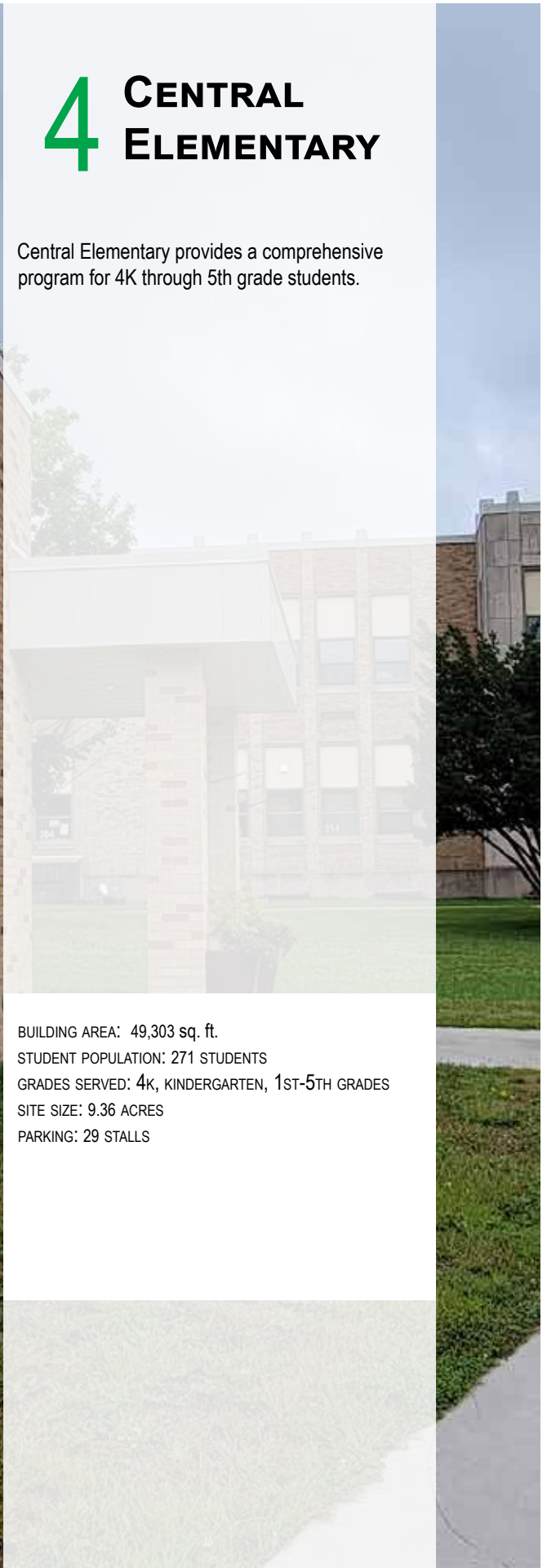




4 CENTRAL ELEMENTARY

Central Elementary provides a comprehensive program for 4K through 5th grade students.

BUILDING AREA: 49,303 sq. ft.
STUDENT POPULATION: 271 STUDENTS
GRADES SERVED: 4K, KINDERGARTEN, 1ST-5TH GRADES
SITE SIZE: 9.36 ACRES
PARKING: 29 STALLS



CENTRAL ELEMENTARY: BUILDING EVOLUTION

Central Elementary was originally constructed in 1939. There have been a couple additions in 1990 and 2019. The largest of these was in 1990, when the gymnasium and classroom wing were added.

The following building evolution diagram outlines the building's development over time.



Central Elementary Main Office



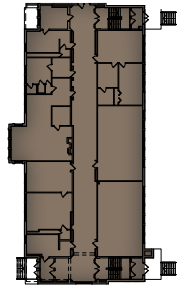
Central Elementary Classroom



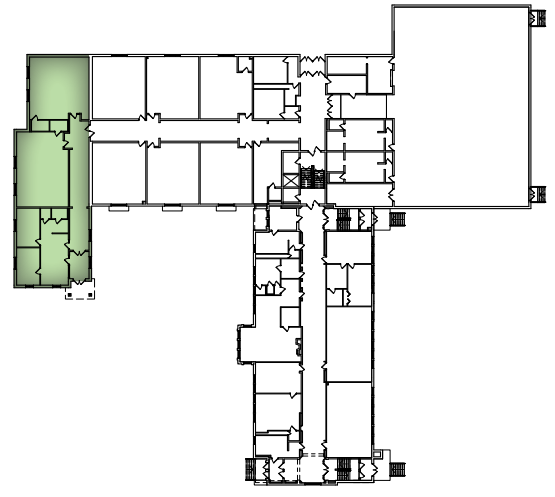
Central Elementary Corridor



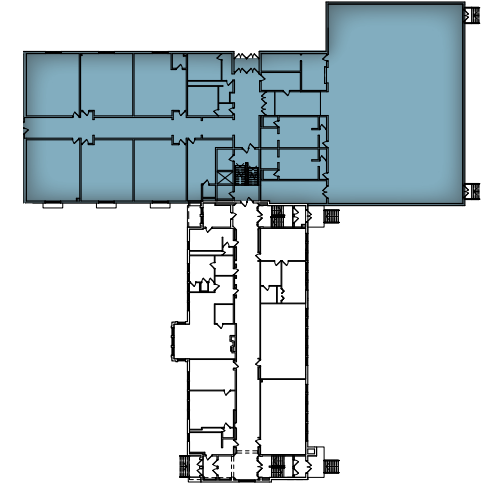
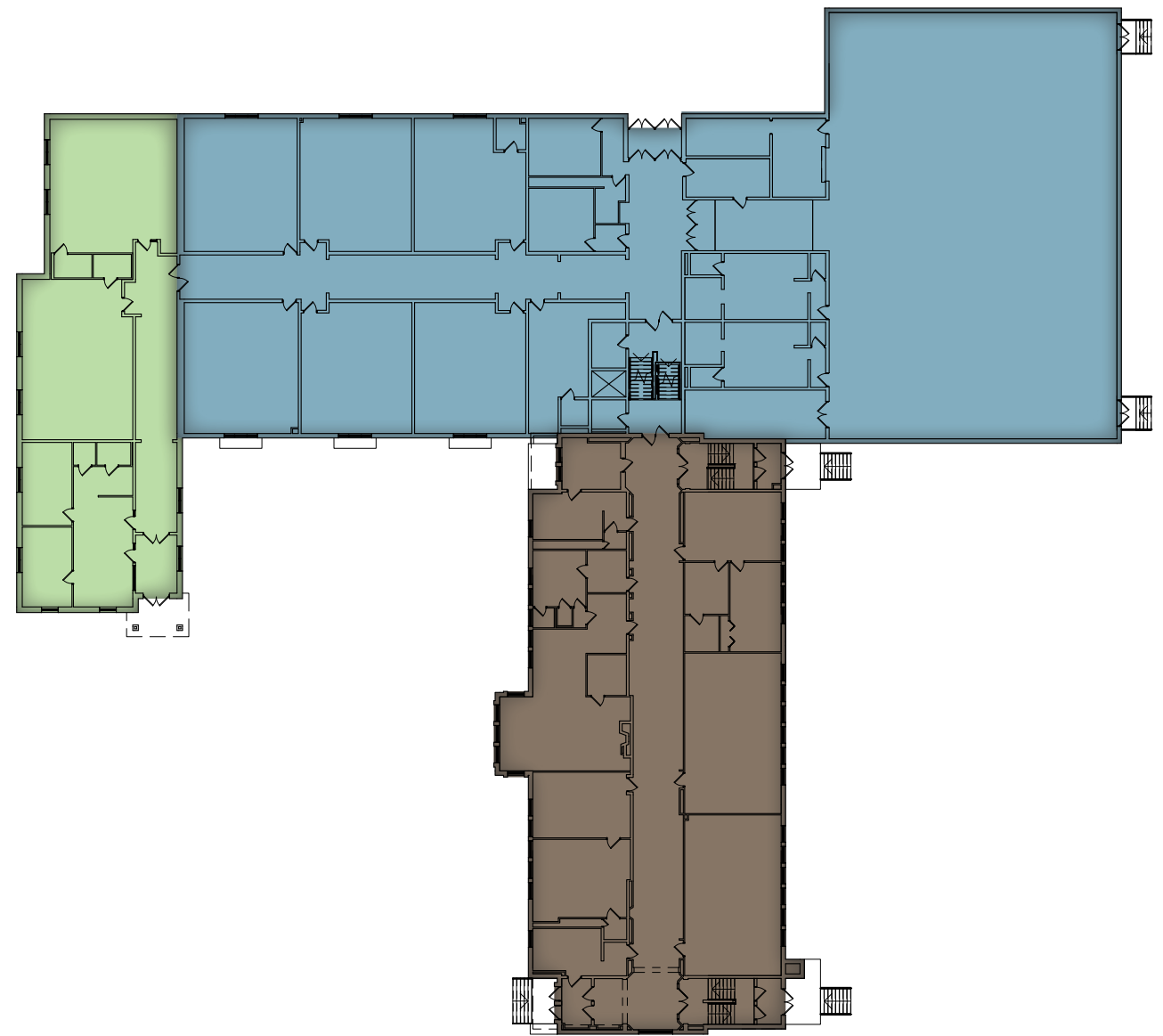
CENTRAL ELEMENTARY: BUILDING EVOLUTION



1939



2019



1990

- = 1939 - Original
- = 1990 - Classroom/Gymnasium Addition
- = 2019 - Classroom/Office Addition

*Dates of construction based on information identified in existing building drawings or information provided by the District.

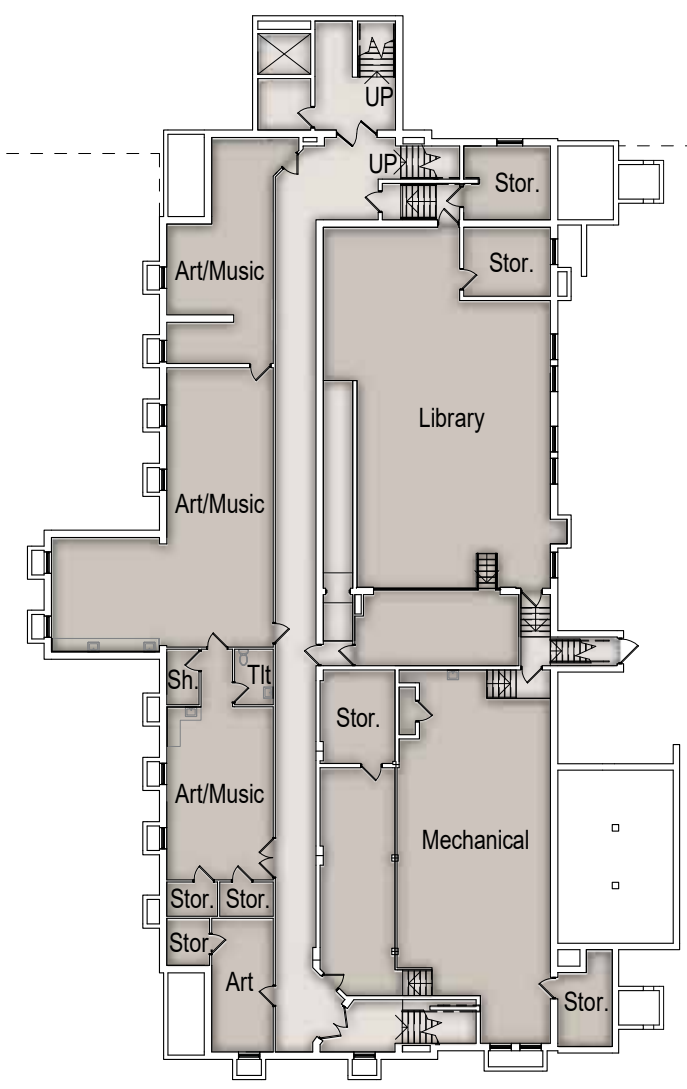
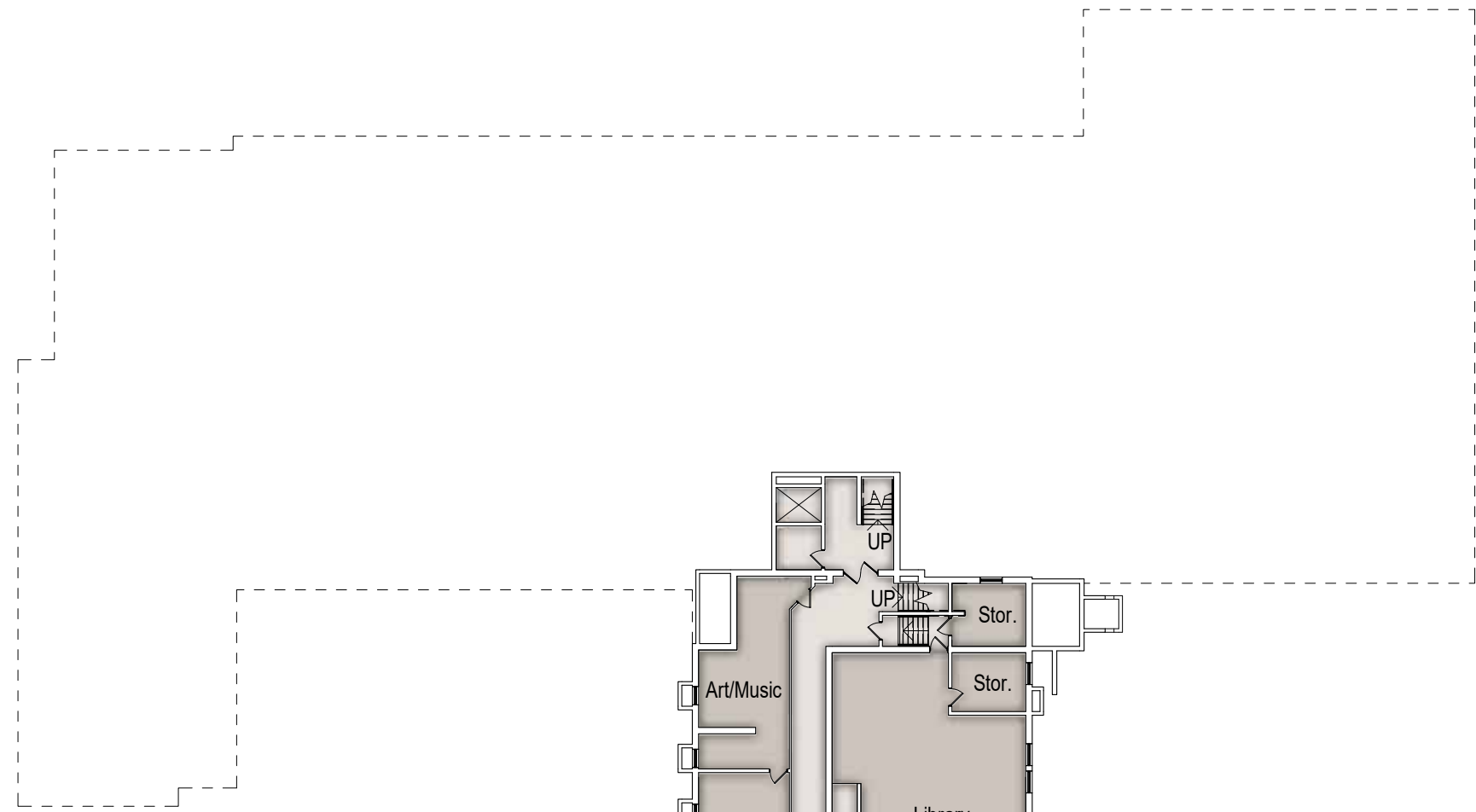


CENTRAL ELEMENTARY: EXISTING SITE PLAN



SITE PLAN
not to scale





LOWER LEVEL PLAN
not to scale

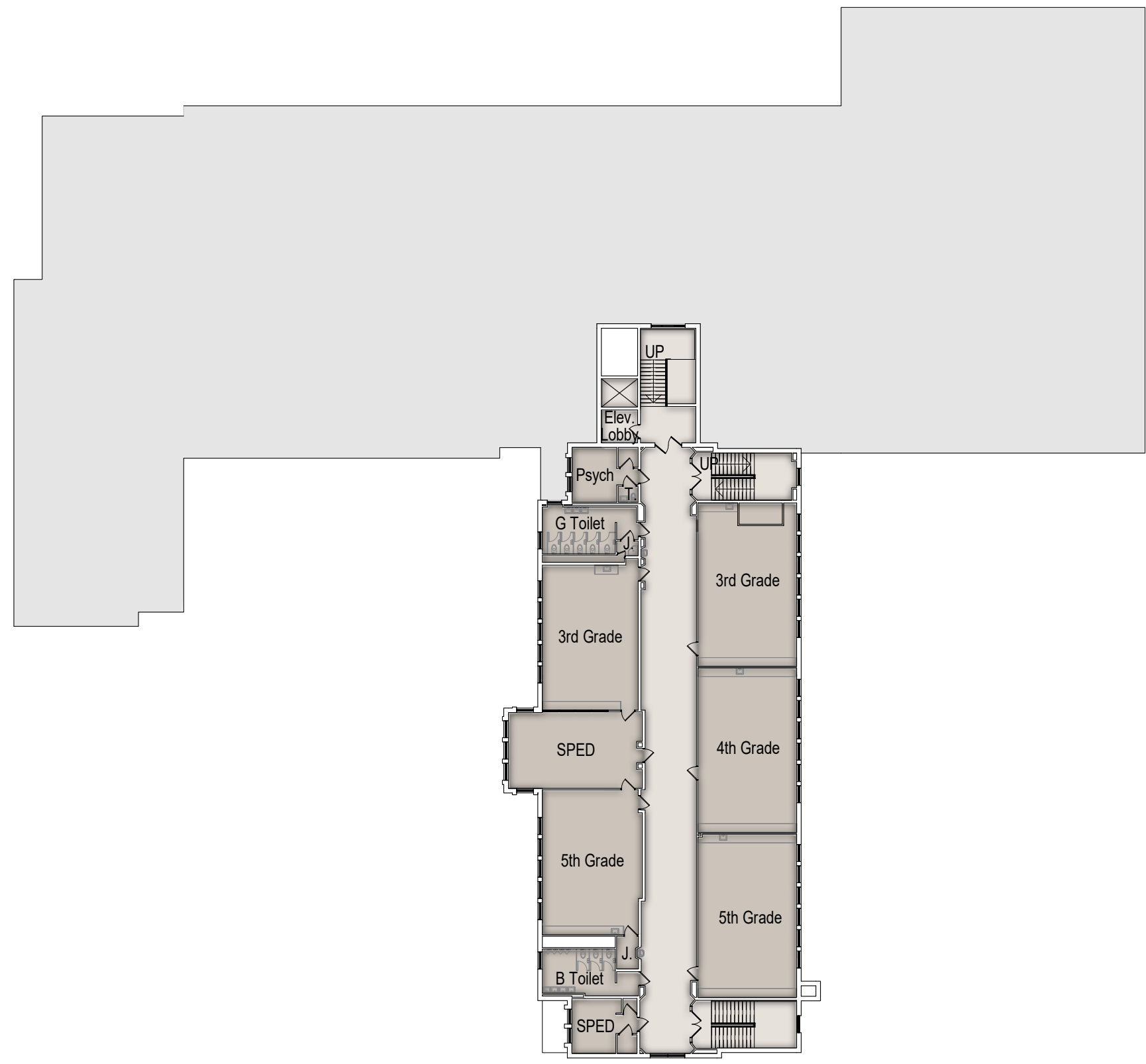


CENTRAL ELEMENTARY: EXISTING FLOOR PLAN



FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



CENTRAL ELEMENTARY: NEEDS ASSESSMENT

The following is a summary of potential improvements at Central Elementary. This is not intended to be a comprehensive list. The following information was obtained through notations made by Bray Architects at extensive tours of the building and grounds, as well as needs identified by District staff.

No.	Central Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Infrastructure Improvement					
Building Interior					
1	Walls				
a	Walls	concrete block	building	overall in good condition; few instances of cracking / chipping, staining, and holes	x
b	Walls	gypsum	building	overall in good condition; few instances of scuffs / marks, peeling paint	x
c	Walls	tile	toilet rooms	overall in good condition	
d	Walls	glazed block	NE wing	overall in good condition; stained grout throughout, some instances of cracking / chipping	x
e	Walls	painted concrete	lower level storage / library	some instances of heavy staining, paint peeling	x
2	Window Interior & Openings				
a	Interior Window	wood	building	overall in good condition	
b	Interior Window Sills	laminated	building	overall in good condition	
c	Interior Window Sills	stone	S wing classrooms	overall in good condition	
3	Interior Doors				
a	Interior Doors - Door / Frame	wood / hollow metal	building	overall in good condition; some instances of chipping / peeling / on frame	x
b	Interior Doors - Door / Frame	wood w/ grille / hollow metal	building	overall in good condition; some instances of rust on frame	
4	Ceilings				
a	Ceilings	acoustical ceiling tile	building	some instances of bowing, chipping, and / or staining	x
b	Ceilings	gypsum	storage, corridor	overall in good condition; some instances of paint chipping	x
c	Ceilings	concrete	janitor / storage	some instances of staining and cracking	x
d	Ceilings	metal deck	mechanical spaces / gymnasium	overall in good condition	
5	Flooring				
a	Flooring	VCT	building	some instances of staining, cracking, holes, and separation	x
b	Flooring	carpet	building	overall in good condition; some instances of staining	x
c	Flooring	carpet tile	vestibule	overall in good condition	
d	Flooring	terrazzo	building	visibly worn and stained throughout; some instances of cracking / chipping	x
e	Flooring	2" tile	toilet rooms	visibly stained and / or has stained grout	
f	Flooring	8" tile	kitchen, vestibule	visibly stained and / or has stained grout	
g	Flooring	12" tile	corridor	overall in good condition; some instances of scuffs and wear	
h	Flooring	quarry tile	Rm. 314 fireplace	overall in good condition; stained grout	
i	Flooring	wood	gymnasium, second floor classrooms, lower level stage	overall in good condition; some instances of cracking / damage	x
j	Flooring	raised rubber	ramp to gymnasium	overall in good condition; some signs of wear	

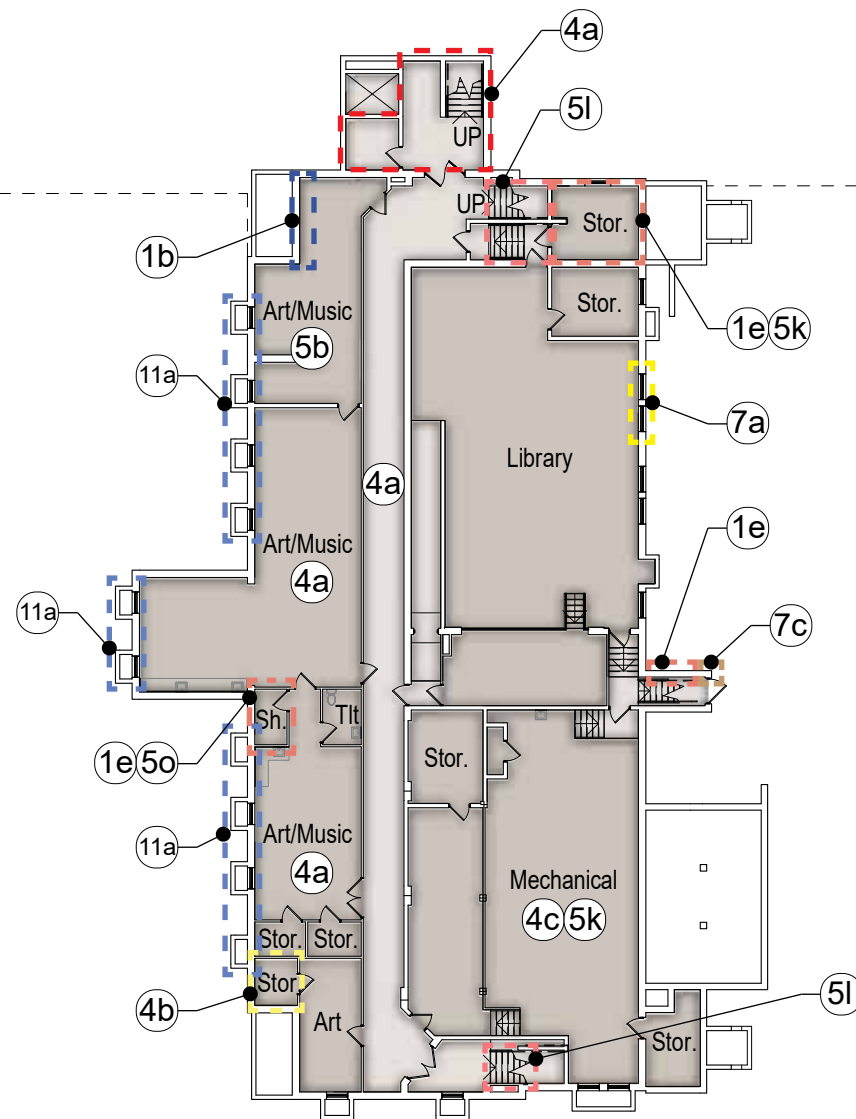
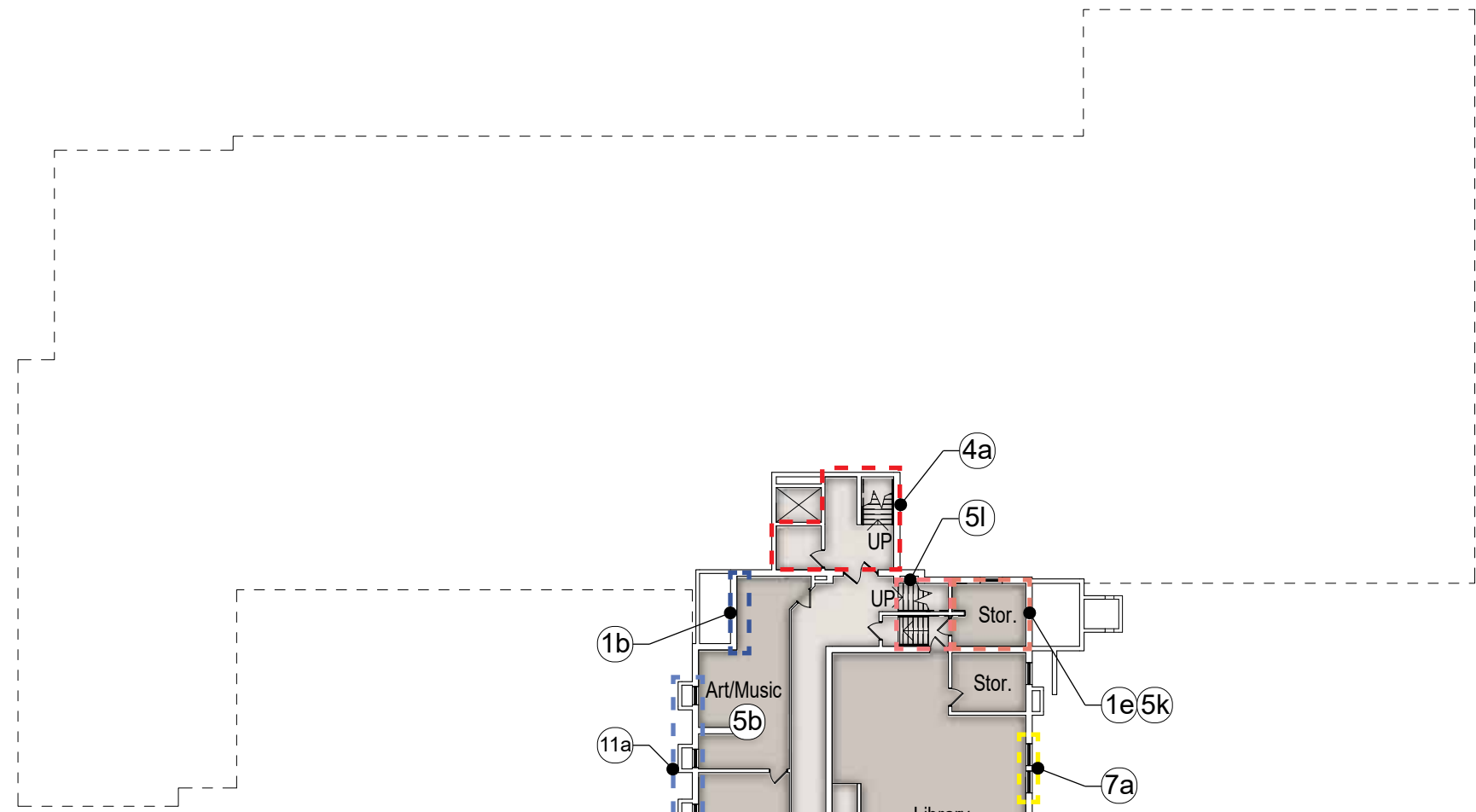
CENTRAL ELEMENTARY: NEEDS ASSESSMENT

No.	Central Elementary Infrastructure Improvement Building Interior	Type / Material	Area / Location	Analysis	Identified in Plans
k	Flooring	concrete	mechanical / janitor/ electrical rooms	visibly stained, cracked, or chipped	x
l	Stair Treads	terrazzo	lower level stairs	visibly worn, some instances of staining	x
m	Stair Treads	metal	first floor stairs	visibly worn; some instances of discoloration, paint chipping	
n	Base	vinyl	building	overall in good condition; some instances of damage / missing boards	
o	Base	tile	toilet rooms / alcoves	visibly chipped, stained, and / or has stained grout	x
p	Base	terrazzo	S wing	some instances of staining, cracking, and chipping	x
6	Miscellaneous				
a	Casework	wood	classrooms	overall in good condition; some signs of wear, dated	x
b	Casework	wood veneer / laminate	classrooms, corridors above lockers	overall in good condition; some signs of wear / damage to laminate	x
c	Lockers	metal	corridors	overall in good condition	
d	Bathroom Stall Partitions	metal / composite	toilet rooms	overall in good condition; few instances of paint chipping / rusting, denting	x
e	Railings	wood	building	some instances of wear, discoloration	



CENTRAL ELEMENTARY: NEEDS ASSESSMENT

No.	Central Elementary	Type / Material	Area / Location	Analysis	Identified in Plans
Building Exterior / Envelope					
7	Walls				
a	Foundation Walls	concrete	building	some instances of cracking, chipping, and staining overall in good condition; few instances of cracking / chipping and staining	x
b	Exterior Walls	brick	building	overall in good condition; few instances of cracking / chipping and staining	x
c	Exterior Walls	concrete block	door 4	overall in good condition; few instances of cracking / chipping and staining	
d	Exterior Walls	decorative stone	door 6 and 7 entry	overall in good condition	
e	Exterior Walls	stone panel	W facade bumpout	staining and discoloration throughout	x
f	Exterior Walls	cementitious panel	above windows	overall in good condition	
8	Windows				
a	Windows	aluminum	building	some instances of visible fading, discoloration, and staining	see window analysis
b	Windows - Sills	stone	building	stained throughout, some instances of cracking / chipping	x
9	Doors				
a	Exterior Doors - Door / Frame	aluminum / aluminum storefront	building	overall in good condition; few instances of scratching / fading	see door analysis
b	Exterior Doors - Door / Frame	hollow metal / hollow metal	building	some instances of fading / discoloration, rusting	see door analysis
10	Roof				
a	Roof	-	building	see roof report	
b	Roof - Soffits	vinyl	door 4 enclosure	overall in good condition; some instances of discoloration	
c	Roof - Fascia	metal	building	overall in good condition	
11	Miscellaneous				
a	Window Grates	metal	above lower level windows	heavily rusted throughout	x
Site Development					
12	Asphalt / Paving				
a	Parking Lots	asphalt	E site	surface weathering and / or cracking	
13	Site Concrete				
a	Sidewalks	concrete	site	overall in good condition; some instances of cracking and / or staining	
b	Door Stoops	concrete	site	overall in good condition; some instances of cracking and / or staining	
c	Stairs	concrete	doors 1, 2, 3, 5, 6	cracking / crumbling, some instances of staining and exposed rebar	x
14	Greenspace				
a	Greenspace	-	site	overall in good condition	
15	Playground				
a	Playground Equipment	metal / composite	E site	overall in good condition	
b	Playground Surface	woodchips	E site	overall in good condition	



LOWER LEVEL PLAN
not to scale

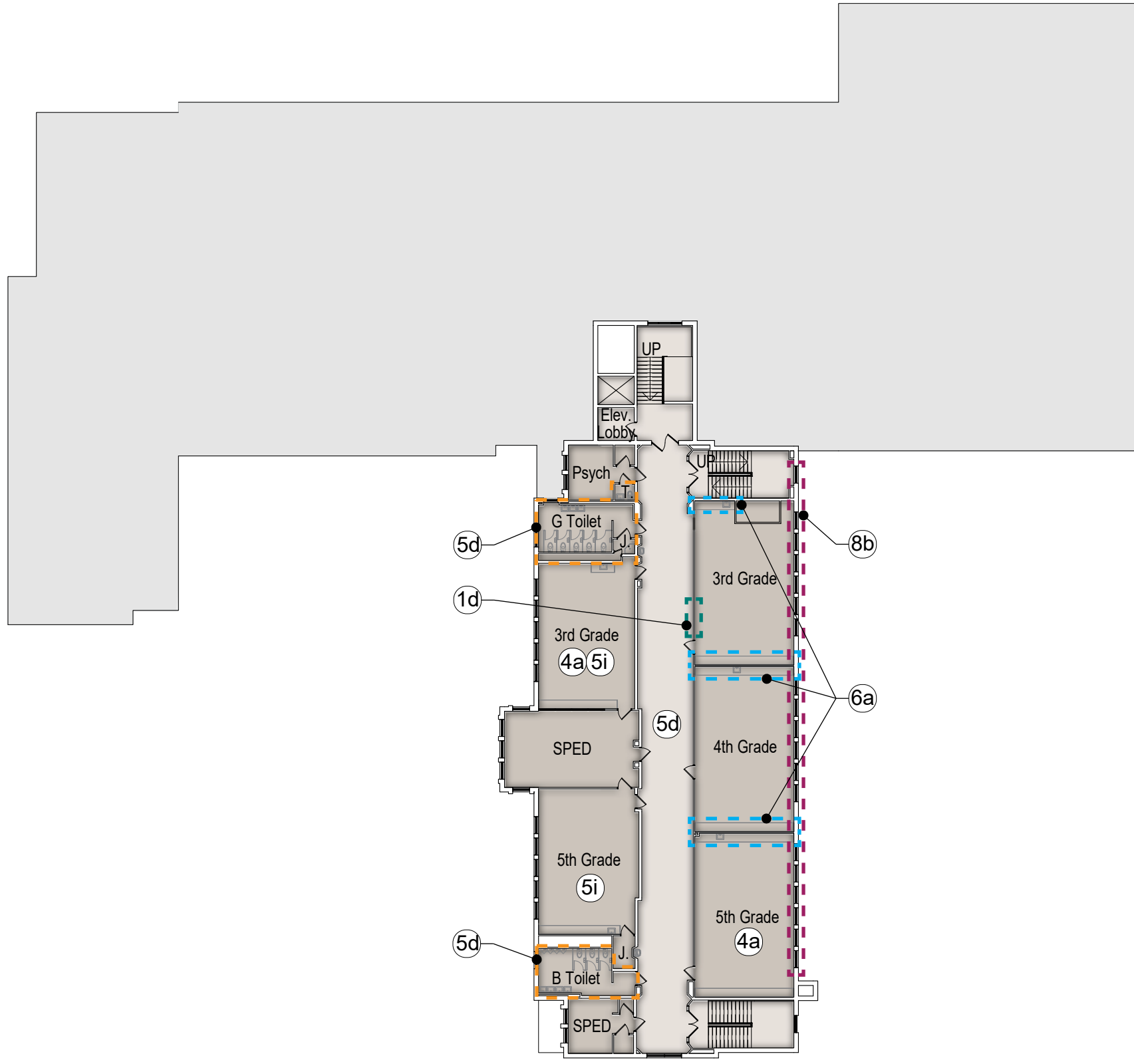


CENTRAL ELEMENTARY: NEEDS ASSESSMENT



FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



CENTRAL ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Central Elementary regarding compliance with building code requirements under the Americans with Disabilities Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Useable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and gathered through extensive tours and assessment of the existing building facility. Please see the following pages provide additional details.

At Central Elementary, there are items that comply with current code requirements. Some of these items include:

- Providing ADA accessible route(s) of travel into the building
- Door hardware meets ADA compliant standards
- Providing ADA required wing walls for protruding object(s)
- Providing a 3'-0" length of workstation counter at an ADA compliant height

There are, however, items that do not meet current code requirements. Some of these items include:

- Not providing designated ADA accessible parking stalls
- Railing(s) do not meet ADA compliant standards
- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Restroom(s) do not meet ADA compliant standards for wheelchair clearances
- Restroom(s) do not contain an ADA compliant stall
- Toilet grab bars do not meet ADA compliant standards
- Not providing a 3'-0" length of transaction counter at an ADA compliant height

Items that do not meet current code requirements and occur at multiple instances throughout the building include:

- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Restroom(s) do not contain an ADA compliant stall
- Toilet grab bars do not meet ADA compliant standards

Most concerning items that do not meet current code requirements include:

- Having areas of the building that are inaccessible due to grade level changes.

While it is not required by code, having an ADA-accessible unisex restroom within the facility is strongly recommended by the Bray Architects team. The building currently does not contain an ADA-accessible unisex restroom.

When considering potential solutions, potentially renovating or replacing items as needed to meet current code requirements, it is important to note that some of these items may be more easily resolved than others. These items may be integrated into a District-wide Capital Improvement Plan (CIP), and could be brought into compliance as a whole or spread out over time as needed. Some of these more manageable items may include:

- Replacement of door hardware with ADA-compliant hardware
- Replacement/relocation of toilet grab bars to meet ADA-compliant standards

Other items may require more extensive renovation solutions in order to meet current code requirements. It is important to note that there may be instances where current building conditions may restrict the ability to resolve these items in an effective and budget-conscious manner. These items may include:

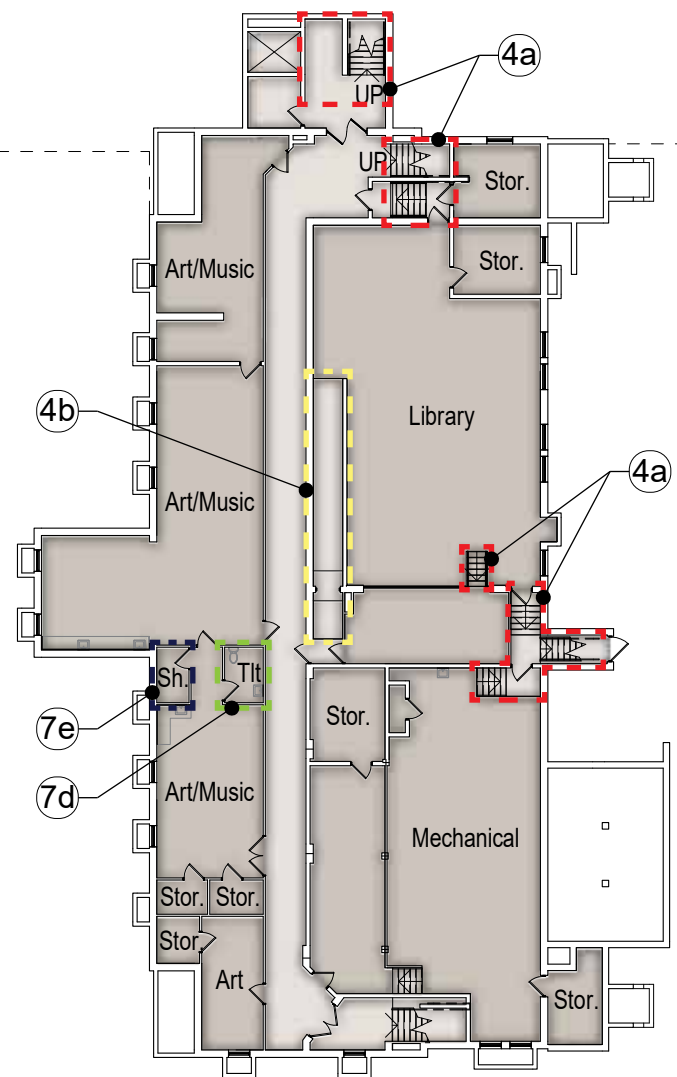
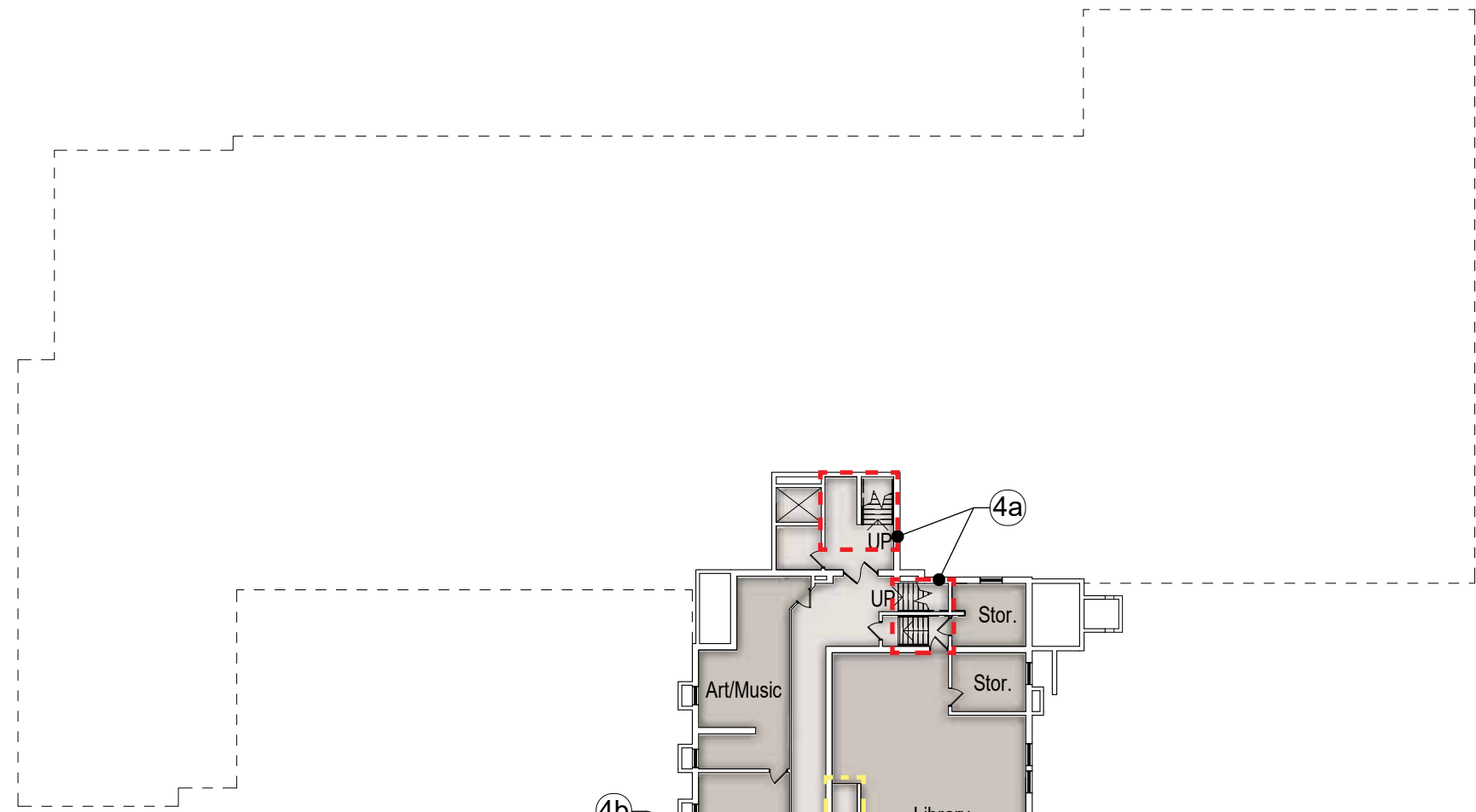
- Providing a ramp to area(s) of the building that are currently inaccessible
- Maintaining the proper push/pull clearances at doors
- Maintaining the proper maneuver clearances
- Providing an ADA compliant stall at restroom(s)

CENTRAL ELEMENTARY: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Central Elementary in regards to meeting building code requirements under the Americans with Disability Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Usable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and engineers gathered through extensive tours and assessment of the existing building facility.

No.	Central Elementary	Area / Location	Analysis	Potential Solution	Identified in Plans
ADA Accessibility					
1	Building Entrance				
a	Accessible Route of Travel	building	there are ADA compliant accessible routes of travel into the building	-	
2	Parking				
a	ADA Parking Stalls	parking lot	there are no designated ADA compliant stalls	provide ADA compliant stalls near an accessible entrance	
3	Ramps & Lifts				
a	Accessible Routes of Travel Between Floor Levels - Ramps	lower level stage	ADA compliant standards for ramps appear to be met	-	
b	Accessible Routes of Travel Between Floor Levels - Lifts	-	-	-	
c	Accessible Routes of Travel Between Floor Levels - Elevators	building	ADA compliant standards for elevators appear to be met	-	
4	Railings				
a	Stair Railings	building	ADA compliant standards for stair railings are not met	renovate as needed	x
b	Ramp Railings	lower level stage, gymnasium	ADA compliant standards for ramp railings are not met	renovate as needed	x
5	Maneuvering, Thresholds, & Push / Pull				
a	Push / Pull	building	ADA compliant standards for push/pull are not met	renovate as needed	x
b	Maneuvering	vestibules	ADA compliant standards for maneuvering are not met	renovate as needed	x
c	Thresholds	building	ADA compliant standards for thresholds are not met	renovate as needed	x
6	Door Hardware & Panic Hardware				
a	Door Hardware	building	door hardware is ADA compliant	-	
7	Restrooms				
a	5'-0" Wheelchair Clearance	building	ADA compliant standards for wheelchair clearance are not met	renovate as needed	x
b	ADA Accessible Stall	building	ADA compliant stall is not provided	renovate as needed to provide ADA compliant stall	x
c	Unisex Restrooms	building	at least (1) ADA compliant unisex restroom at each floor level is not met	renovate as needed to provide at least (1) ADA compliant unisex restroom at each floor level	
d	Grab Bars	building	ADA compliant standards for grab bars are not met	renovate to provide ADA compliant grab bars	x
e	Showers	lower level	ADA compliant standards for showers are not met	renovate as needed	x
8	Drinking Fountains & Protruding Objects				
a	Drinking Fountains	building	drinking fountain appears to be at ADA compliant height	-	
b	Protruding Objects	building	ADA required wing walls are present	-	
9	Casework, Transaction Counters, & Counters with Sinks				
a	Transaction Counters	main office	does not contain at least 3'-0" length of transaction counter at ADA compliant height	provide 3'-0" of counter space at an ADA compliant height	x
b	Workstation Counters	building	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
c	Counters with Sinks	building	appears to contain at least one sink at ADA compliant height	-	





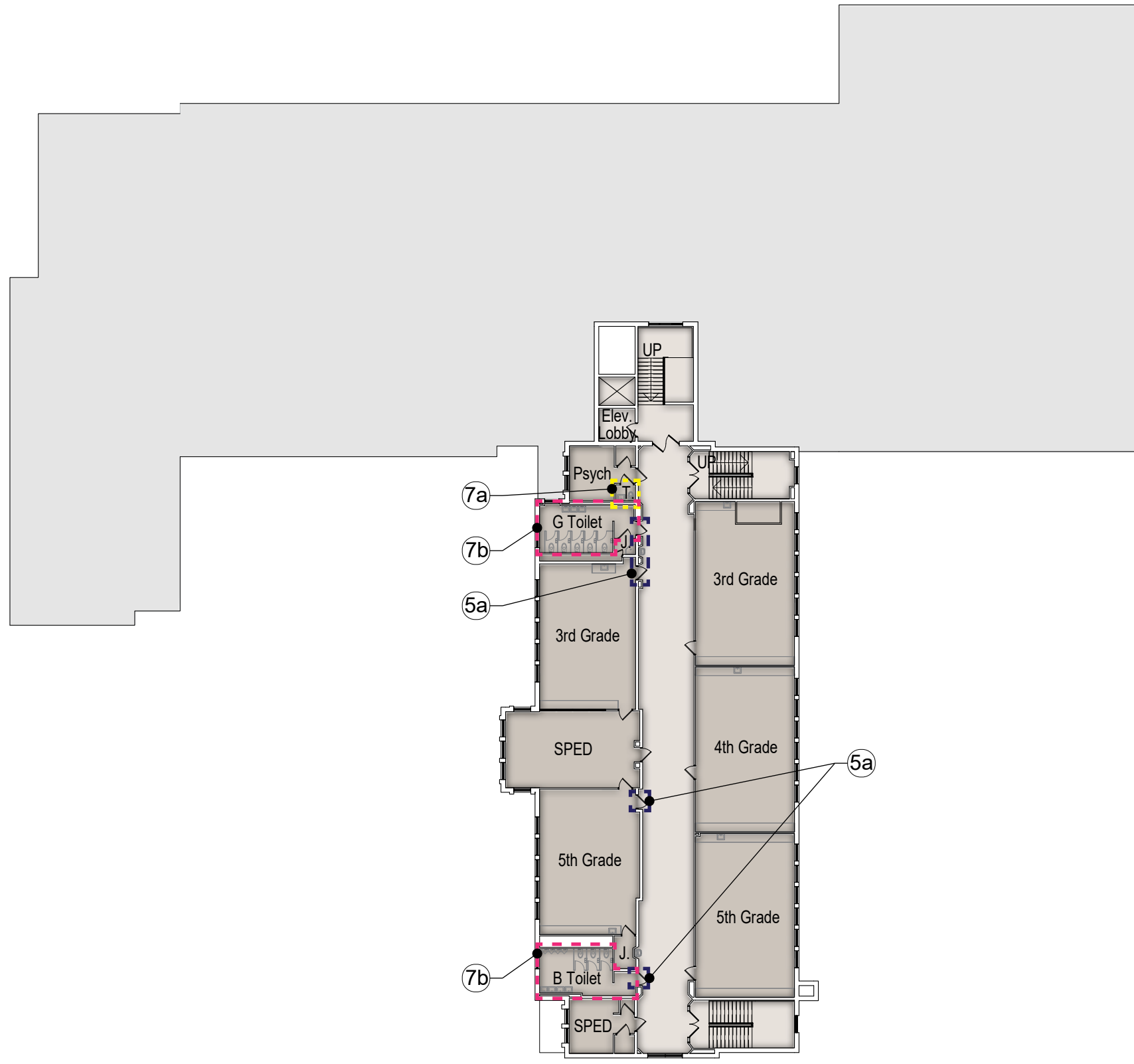
LOWER LEVEL PLAN
not to scale





FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



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ROOF DIAGRAM

ROOF PLAN
not to scale



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CENTRAL ELEMENTARY: EXTERIOR DOOR ANALYSIS

Central Elementary			
No.	Door Type	Frame Type	Consider Replacement
1	Hollow Metal	Hollow Metal	x
2	Hollow Metal	Hollow Metal	x
3	Fiber Reinforced Plastic	Aluminum	
4	Hollow Metal	Hollow Metal	x
5	Fiber Reinforced Plastic	Aluminum	
6	Hollow Metal	Hollow Metal	x
8	Aluminum	Aluminum Storefront	
9	Hollow Metal	Hollow Metal	



① HOLLOW METAL DOORS & HOLLOW METAL FRAME



③ FRP DOORS & ALUMINUM FRAME



④ HOLLOW METAL DOORS & HOLLOW METAL FRAME



⑨ HOLLOW METAL DOORS & HOLLOW METAL FRAME

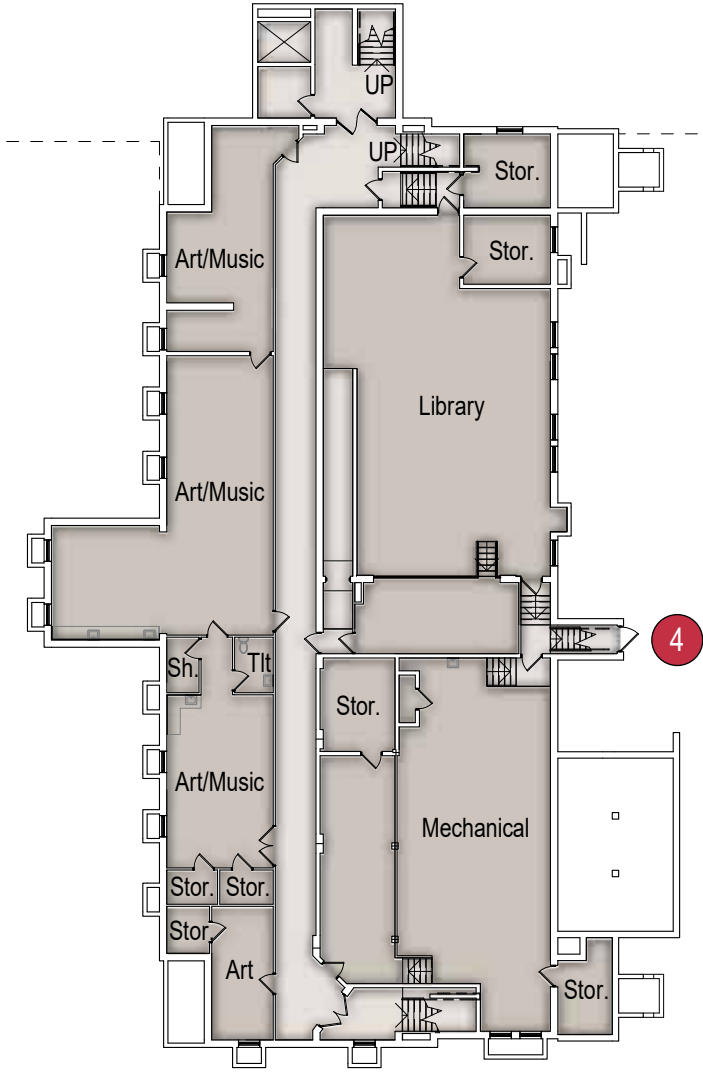
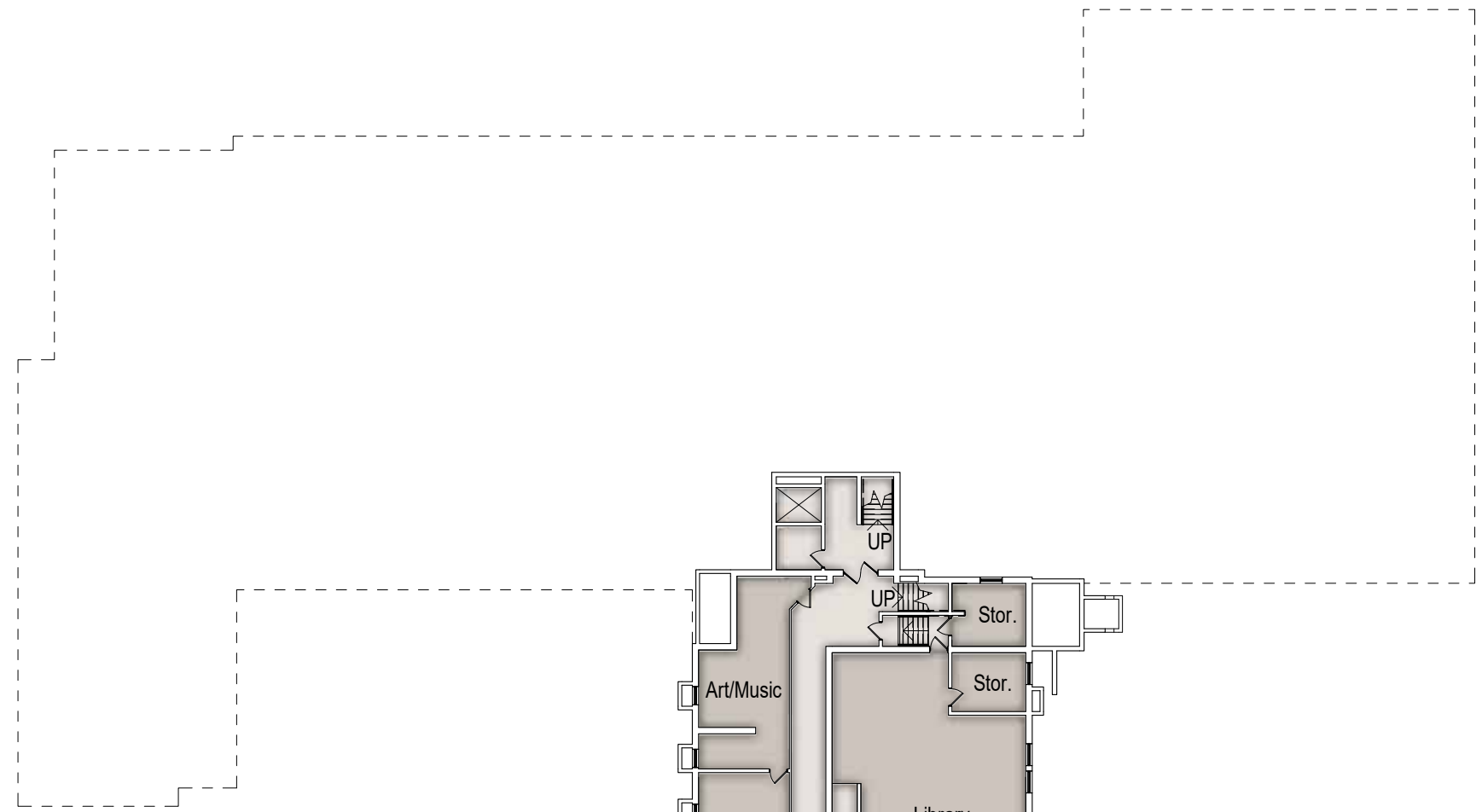


⑧ ALUMINUM DOORS & ALUMINUM STOREFRONT



⑥ HOLLOW METAL DOORS & HOLLOW METAL FRAME





LOWER LEVEL PLAN
not to scale



CENTRAL ELEMENTARY: EXTERIOR DOOR ANALYSIS



FIRST FLOOR PLAN
not to scale



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CENTRAL ELEMENTARY: EXTERIOR WINDOW ANALYSIS

Central Elementary		
No.	Window Type	Consider Replacement
102A	Aluminum w/ Double Pane	grate rusted
103	Aluminum w/ Double Pane	grate rusted
102	Aluminum w/ Double Pane	grate rusted
104	Glass Block	
105	Glass Block	
106	Aluminum w/ Double Pane	x discolored, grate rusted, frame rusted
198	Aluminum w/ Double Pane	
199	Aluminum w/ Double Pane	
200	Aluminum w/ Double Pane	
201	Aluminum w/ Double Pane	x discolored, frame worn
203	Aluminum w/ Double Pane	x discolored, frame dented / worn
205	Aluminum w/ Double Pane	x discolored, frame scratched / worn
309A	Aluminum w/ Double Pane	x frame dented / scratched, screen torn
309B	Aluminum w/ Double Pane	x filled in
309	Aluminum w/ Double Pane	
315A	Aluminum w/ Double Pane	
315B	Aluminum w/ Double Pane	x filled in
315	Aluminum w/ Double Pane	
318A	Aluminum w/ Double Pane	
318B	Aluminum w/ Double Pane	x filled in
318	Aluminum w/ Double Pane	
319A	Aluminum w/ Double Pane	x discolored, frame rusted / worn
319	Aluminum w/ Double Pane	x discolored, frame worn
313	Aluminum w/ Double Pane	x discolored, frame worn / stained
313A	Aluminum w/ Double Pane	x filled in, discolored, frame rusted
313B	Aluminum w/ Double Pane	x discolored, frame rusted
313C	Aluminum w/ Double Pane	x filled in, discolored, frame rusted
314	Aluminum w/ Double Pane	x discolored, frame worn
308	Aluminum w/ Double Pane	x discolored, frame worn
304	Aluminum w/ Double Pane	x discolored, frame scratched / worn
307	Aluminum w/ Double Pane	
207	Aluminum w/ Double Pane	
204	Aluminum w/ Double Pane	x discolored, frame bent / damaged
202	Aluminum w/ Double Pane	
200	Aluminum w/ Double Pane	



103 ALUMINUM W/ DOUBLE PANE



106 ALUMINUM W/ DOUBLE PANE



198 ALUMINUM W/ DOUBLE PANE



113A ALUMINUM W/ DOUBLE PANE

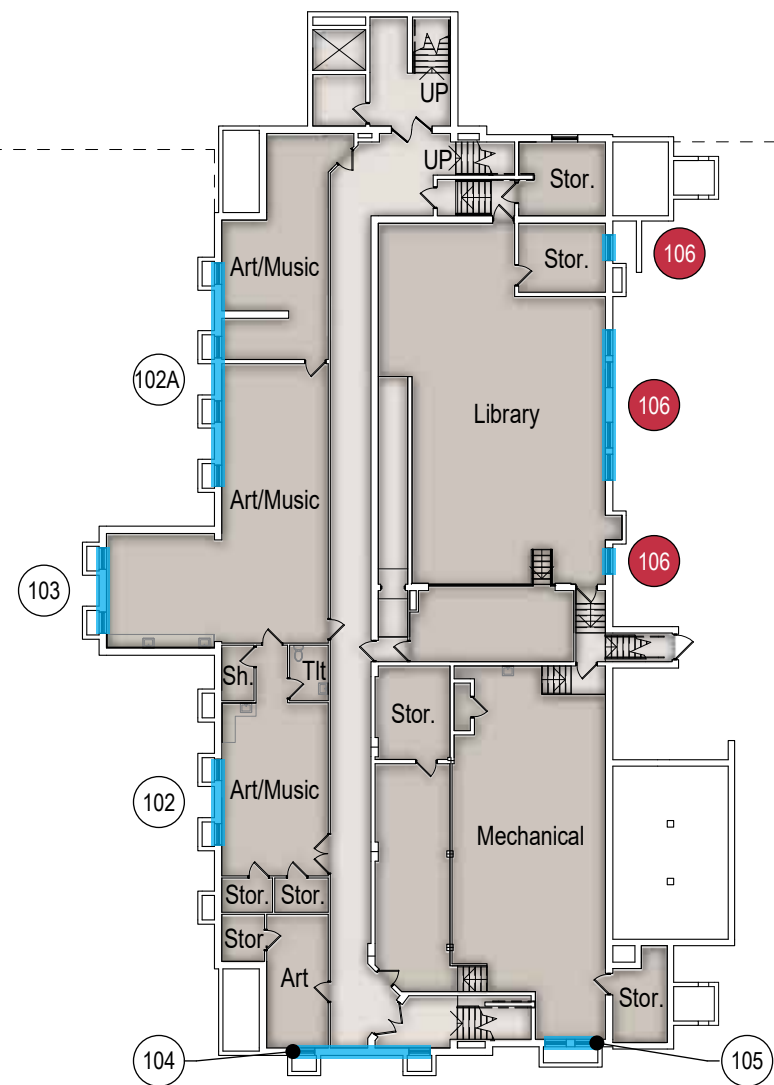
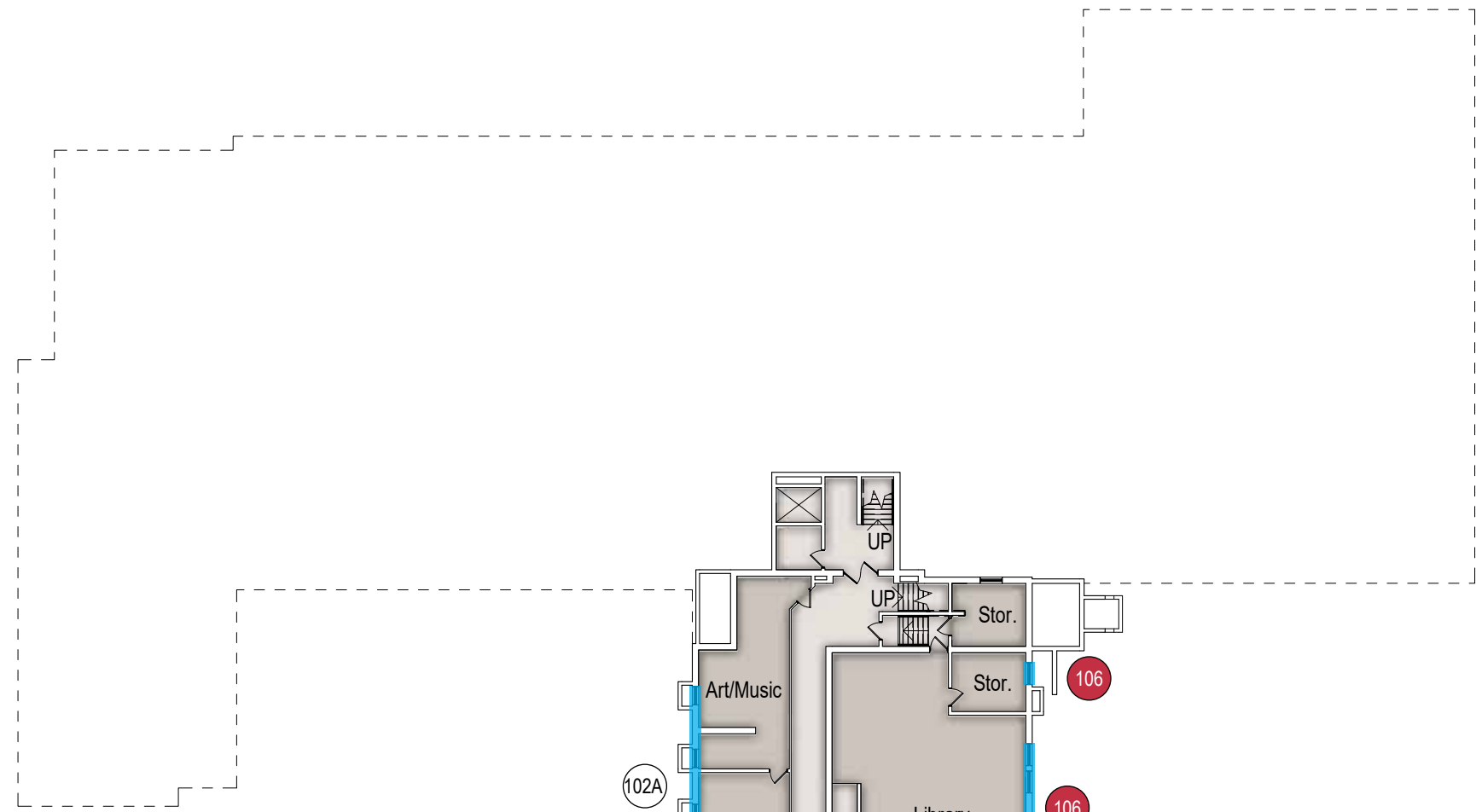


309A ALUMINUM W/ DOUBLE PANE



205 ALUMINUM W/ DOUBLE PANE





LOWER LEVEL PLAN
not to scale

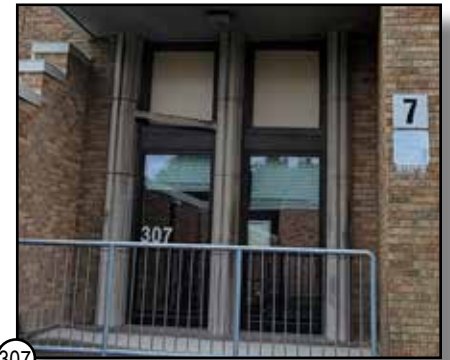


CENTRAL ELEMENTARY: EXTERIOR WINDOW ANALYSIS

Central Elementary		
No.	Window Type	Consider Replacement
405	Aluminum w/ Double Pane	
406A	Aluminum w/ Double Pane	
406B	Aluminum w/ Double Pane	x filled in
406	Aluminum w/ Double Pane	
409A	Aluminum w/ Double Pane	x discolored, sealant cracking
409B	Aluminum w/ Double Pane	x filled in
409	Aluminum w/ Double Pane	
411A	Aluminum w/ Double Pane	
411B	Aluminum w/ Double Pane	x filled in
411	Aluminum w/ Double Pane	
414	Aluminum w/ Double Pane	
413A	Aluminum w/ Double Pane	
413	Aluminum w/ Double Pane	
412	Aluminum w/ Double Pane	x discolored, frame worn
410	Aluminum w/ Double Pane	x discolored, frame worn
410A	Aluminum w/ Double Pane	x filled in
407A	Aluminum w/ Double Pane	x discolored, frame worn
407B	Aluminum w/ Double Pane	x filled in
407	Aluminum w/ Double Pane	x discolored, frame worn
405	Aluminum w/ Double Pane	x discolored, frame worn
403	Aluminum w/ Double Pane	x discolored, frame worn
401A	Aluminum w/ Double Pane	
401	Aluminum w/ Double Pane	



304 ALUMINUM W/ DOUBLE PANE



307 ALUMINUM W/ DOUBLE PANE



204 ALUMINUM W/ DOUBLE PANE



407 ALUMINUM W/ DOUBLE PANE



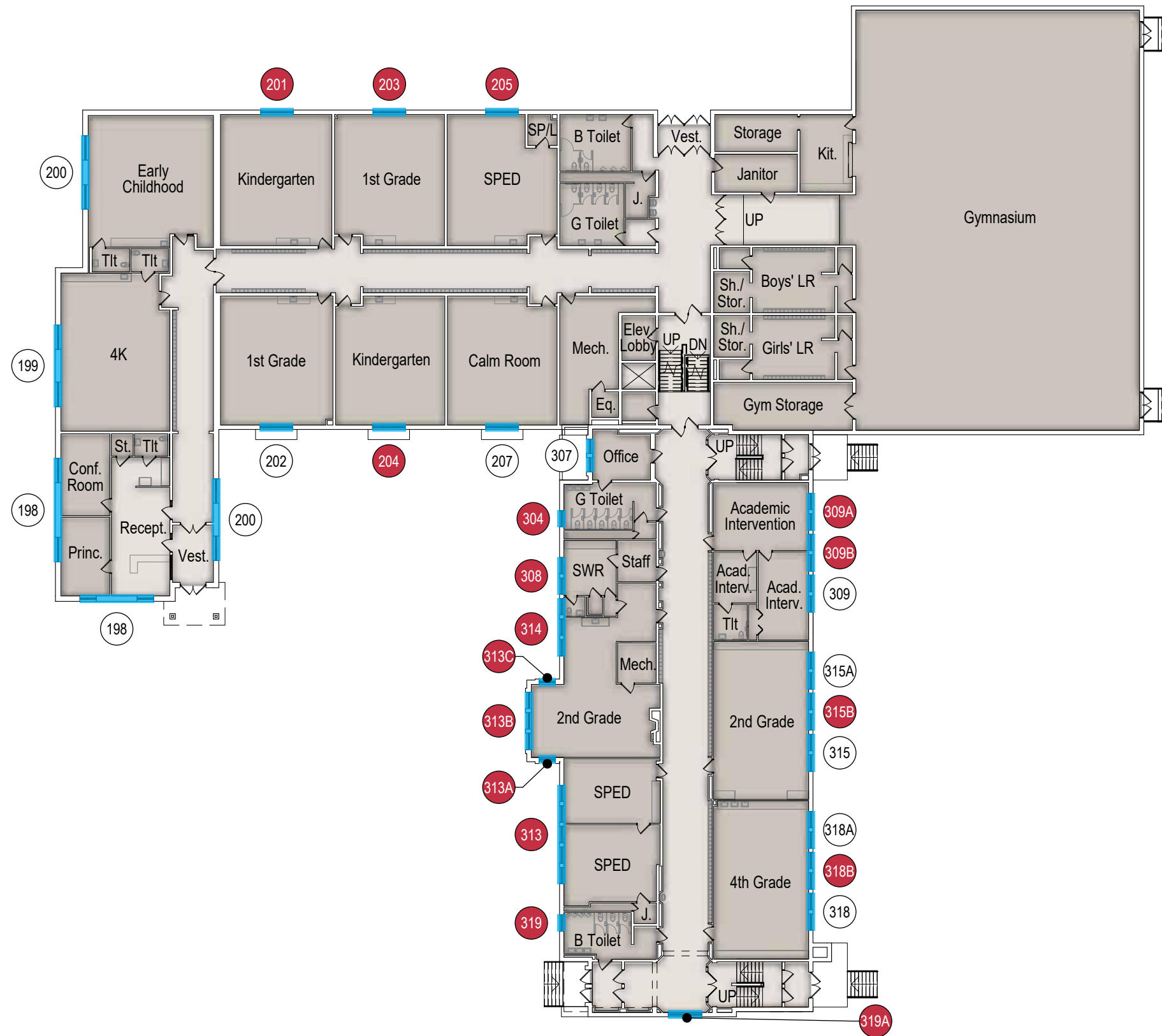
414 ALUMINUM W/ DOUBLE PANE



409 ALUMINUM W/ DOUBLE PANE

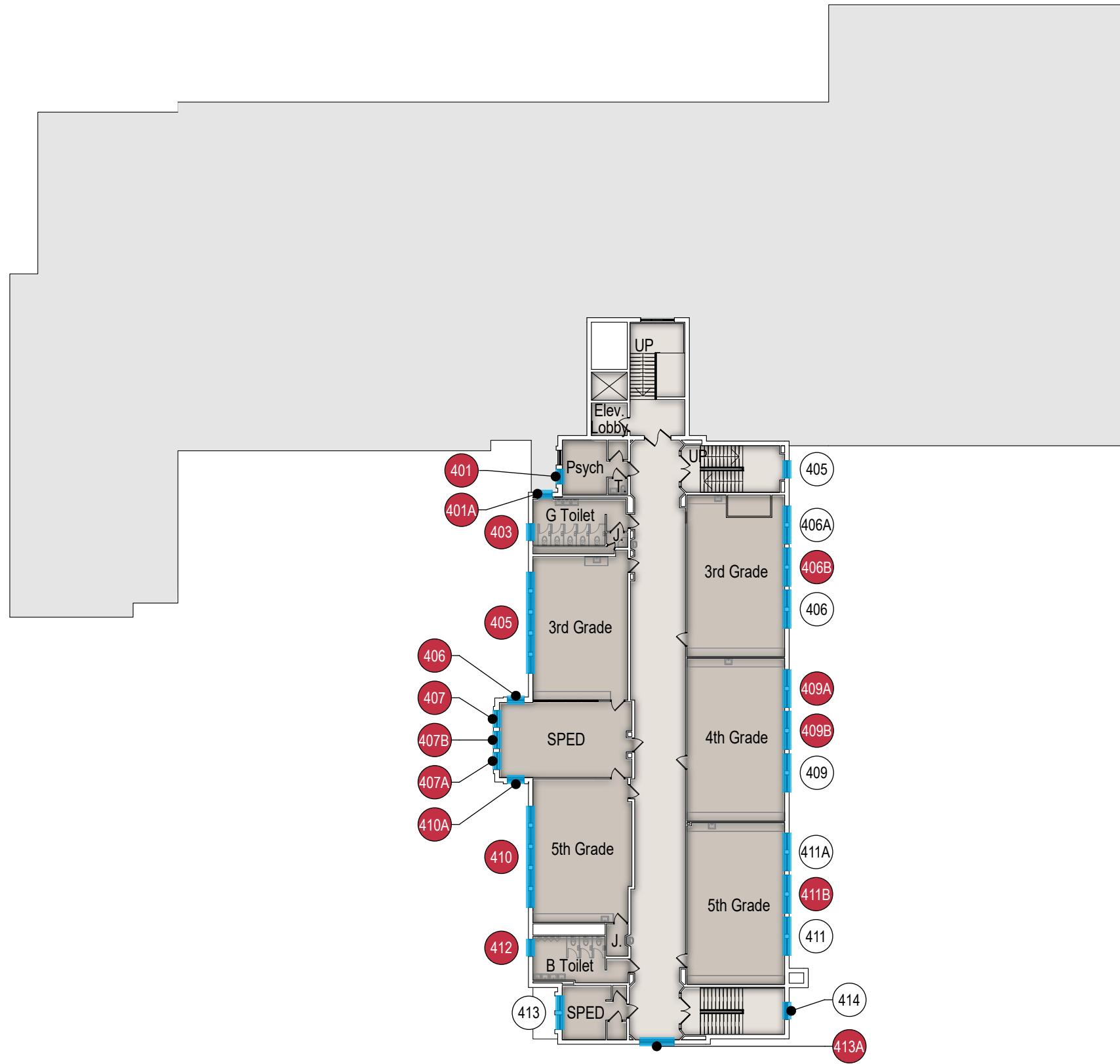


CENTRAL ELEMENTARY: EXTERIOR WINDOW ANALYSIS



FIRST FLOOR PLAN
not to scale















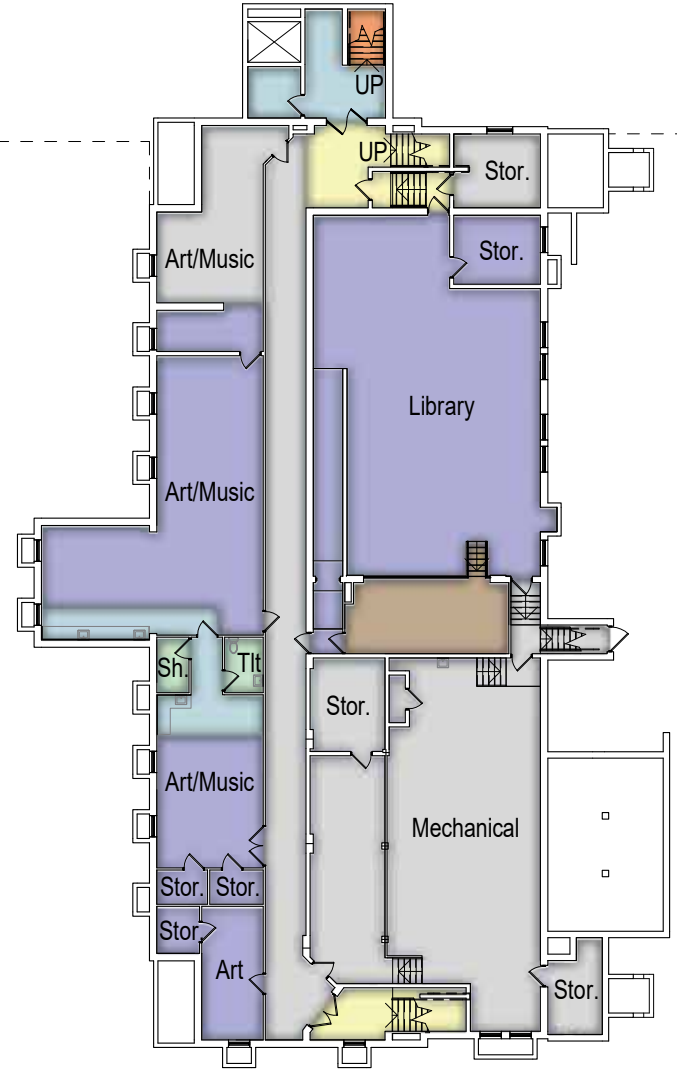
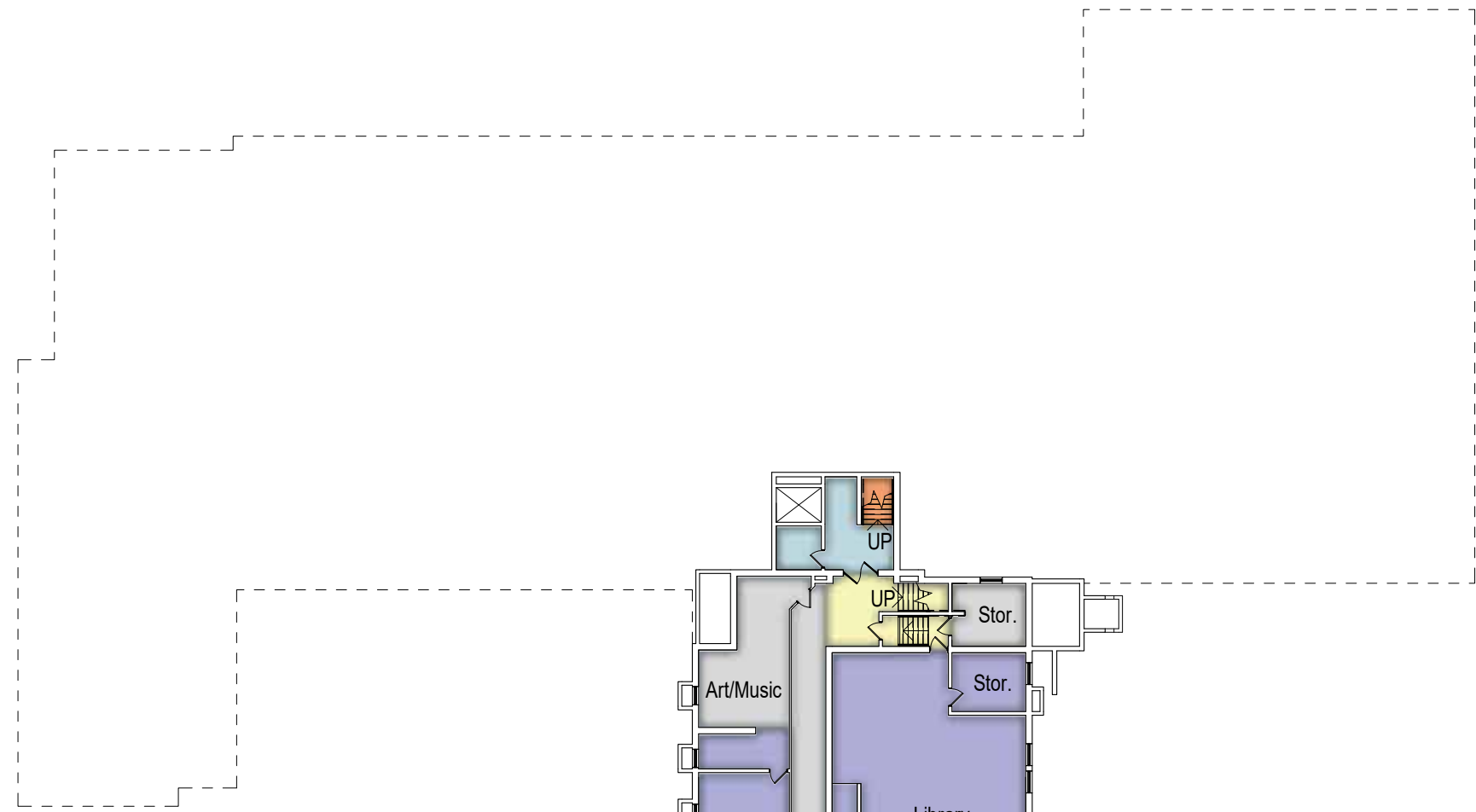
SECOND FLOOR PLAN
not to scale



CENTRAL ELEMENTARY: FLOORING IDENTIFICATION

Color Key

-  = VCT
-  = Carpet
-  = Carpet Tile
-  = Tile
-  = Concrete
-  = Rubber
-  = Quarry Tile
-  = Wood
-  = Terrazzo
-  = Metal



LOWER LEVEL PLAN
not to scale



CENTRAL ELEMENTARY: FLOORING IDENTIFICATION

Color Key

- = VCT
- = Carpet
- = Carpet Tile
- = Tile
- = Concrete
- = Rubber
- = Quarry Tile
- = Wood
- = Terrazzo
- = Metal













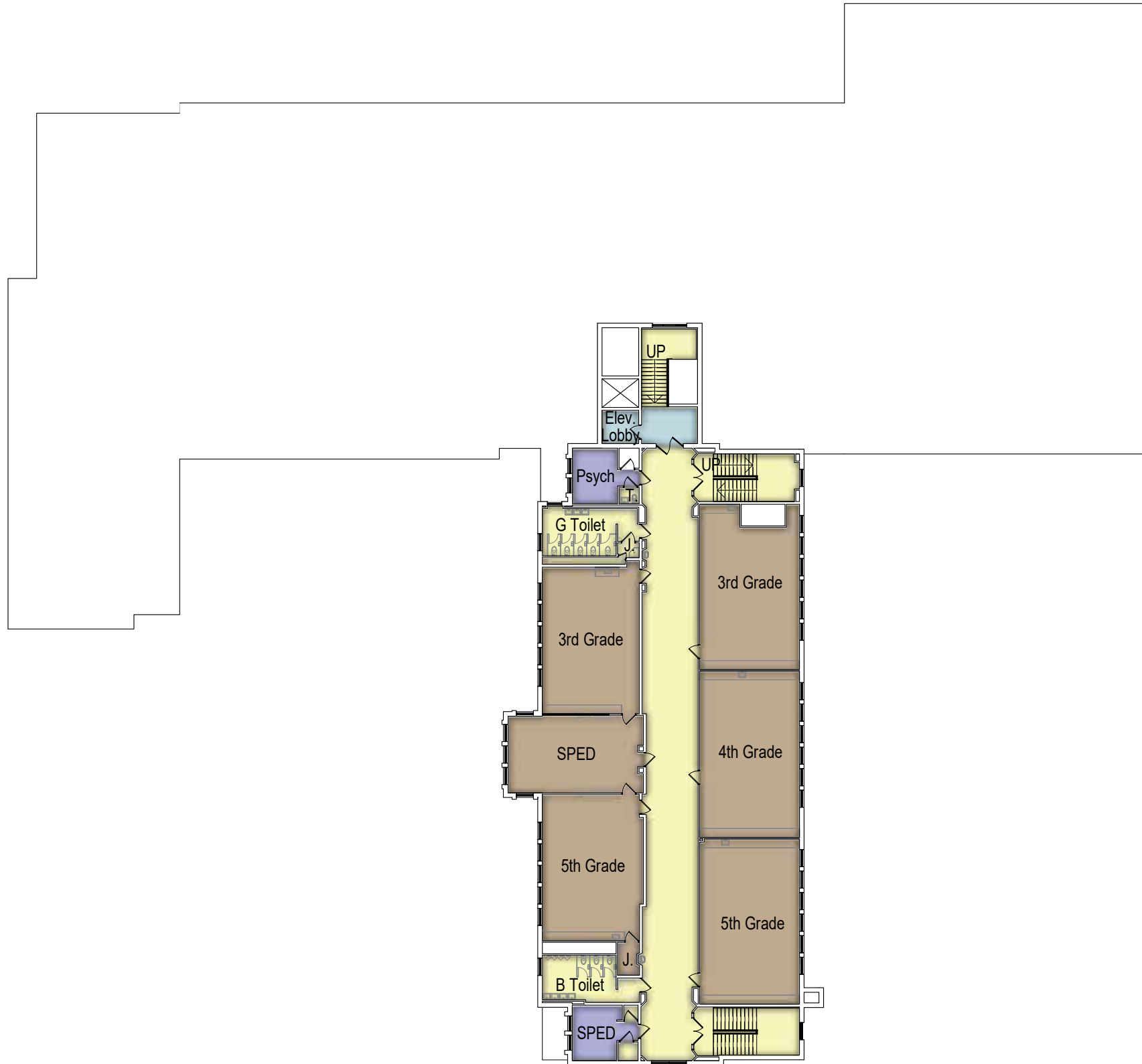
FIRST FLOOR PLAN
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CENTRAL ELEMENTARY: FLOORING IDENTIFICATION

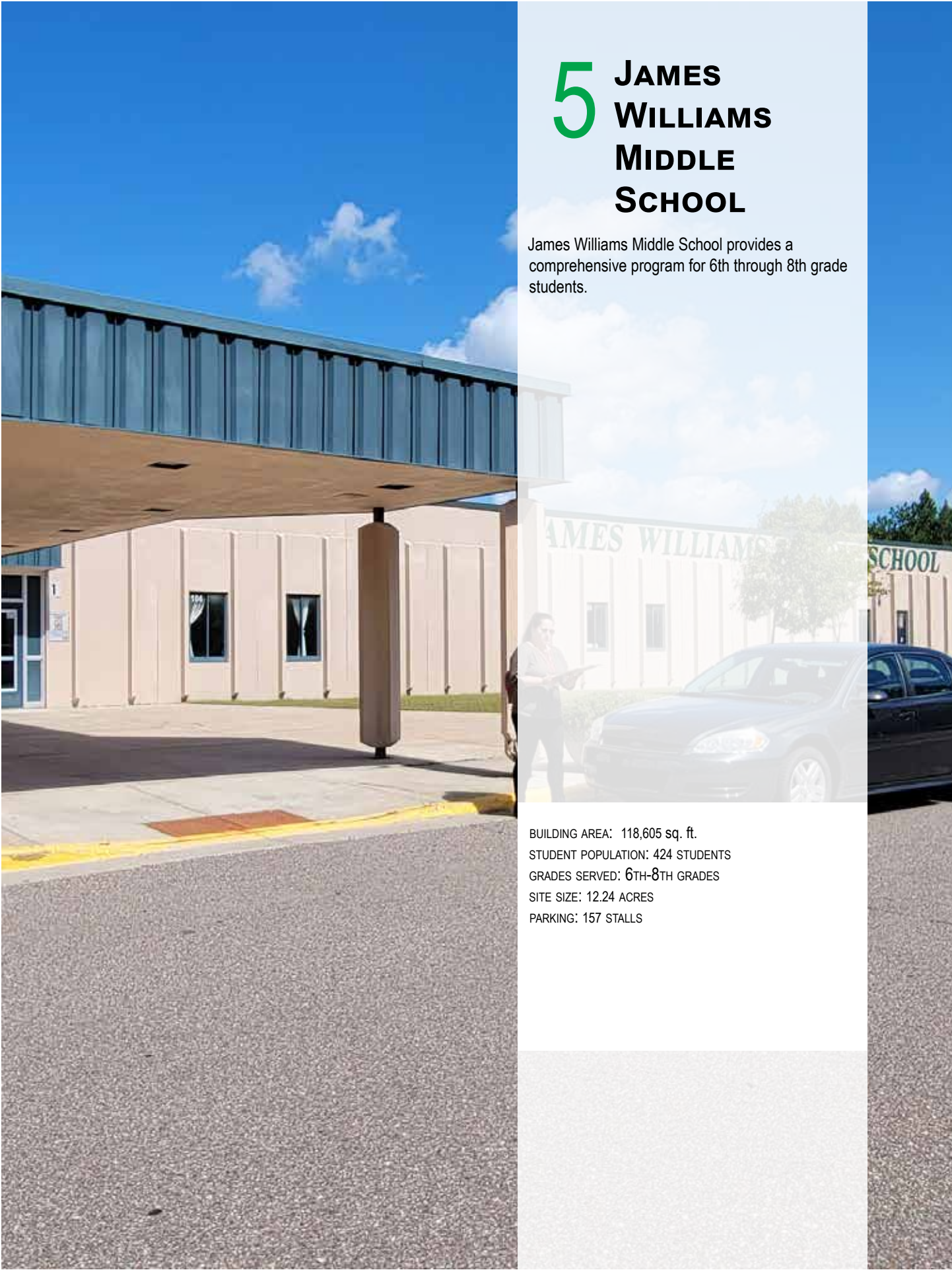
Color Key

-  = VCT
-  = Carpet
-  = Carpet Tile
-  = Tile
-  = Concrete
-  = Rubber
-  = Quarry Tile
-  = Wood
-  = Terrazzo
-  = Metal



SECOND FLOOR PLAN
not to scale





5 JAMES WILLIAMS MIDDLE SCHOOL

James Williams Middle School provides a comprehensive program for 6th through 8th grade students.

BUILDING AREA: 118,605 sq. ft.
STUDENT POPULATION: 424 STUDENTS
GRADES SERVED: 6TH-8TH GRADES
SITE SIZE: 12.24 ACRES
PARKING: 157 STALLS

JAMES WILLIAMS MIDDLE SCHOOL: BUILDING EVOLUTION

James Williams Middle School was originally constructed in 1974. There was a classroom addition in 1994, adding eight classrooms to the school.

The following building evolution diagram outlines the building's development over time.



James Williams Middle School Main Office



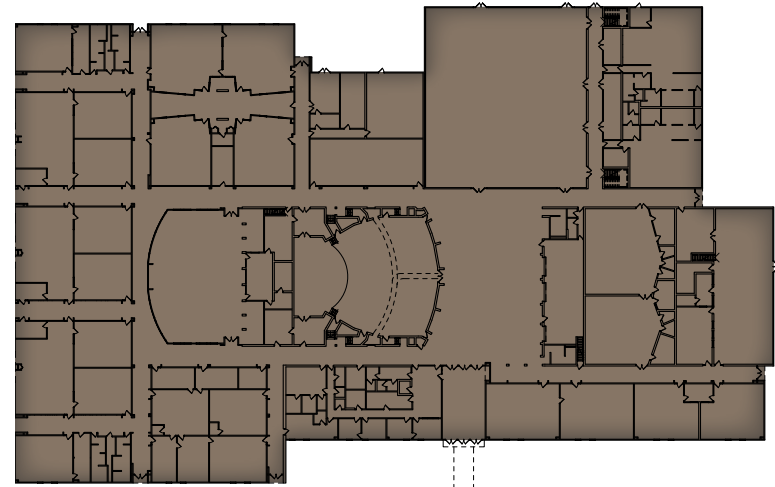
James Williams Middle School Classroom



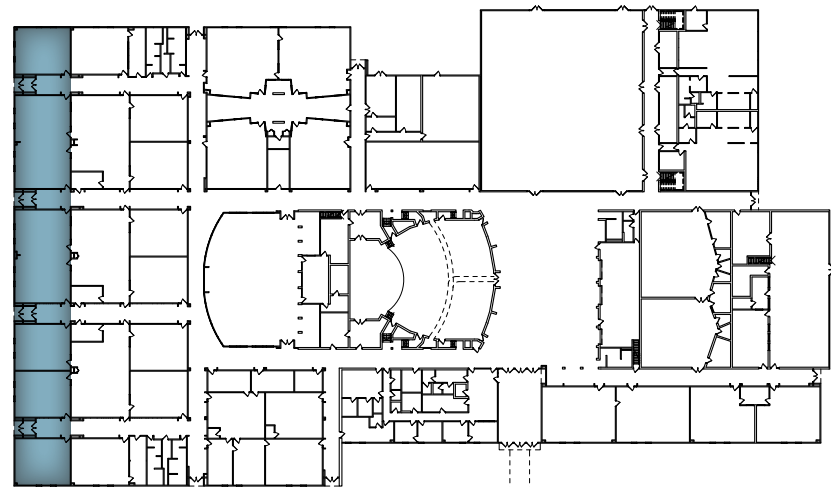
James Williams Middle School Corridor



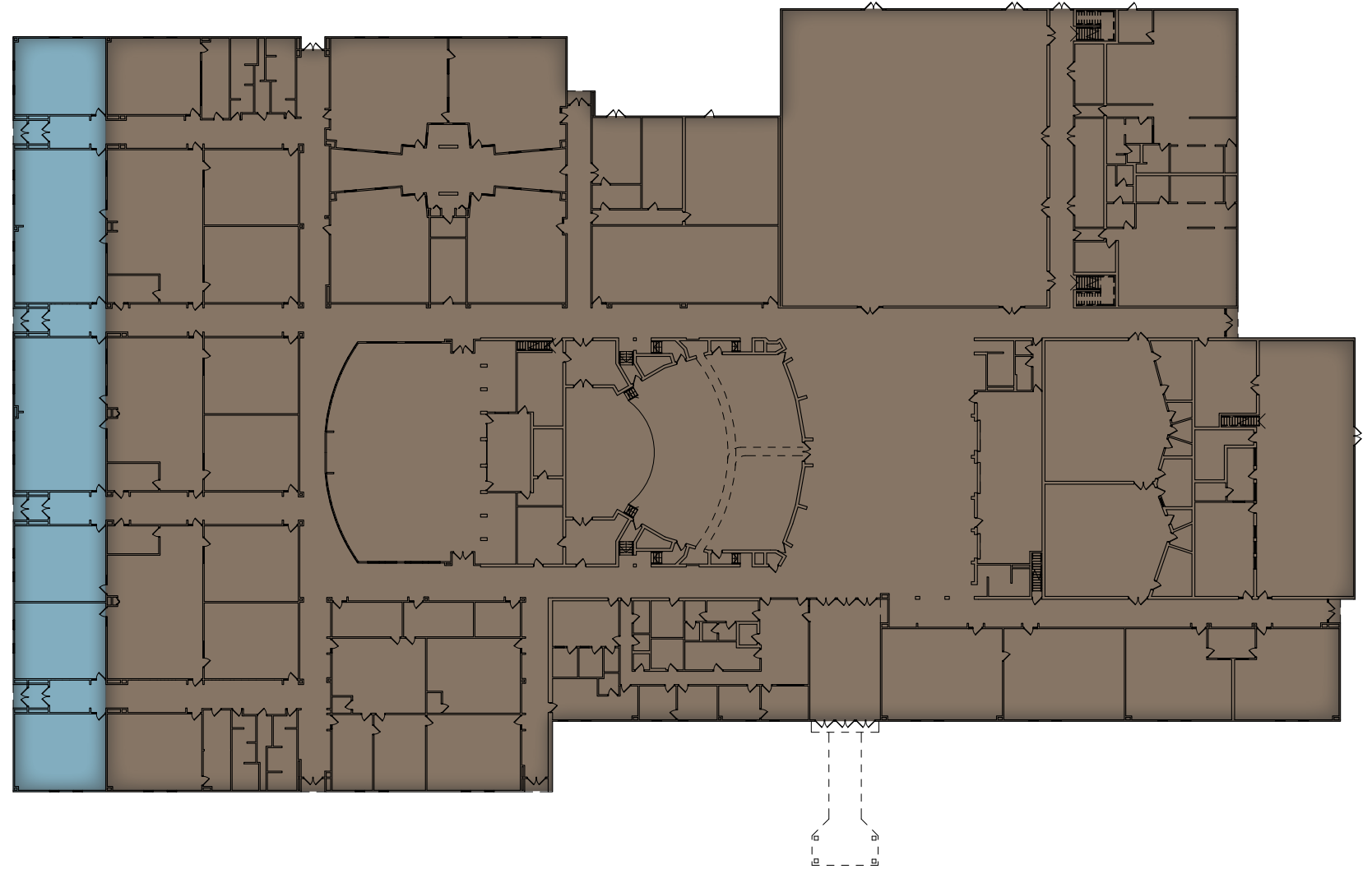
JAMES WILLIAMS MIDDLE SCHOOL: BUILDING EVOLUTION



1974



1994



■ = 1974 - Original

■ = 1994 - Classroom Addition

*Dates of construction based on information identified in existing building drawings or information provided by the District.



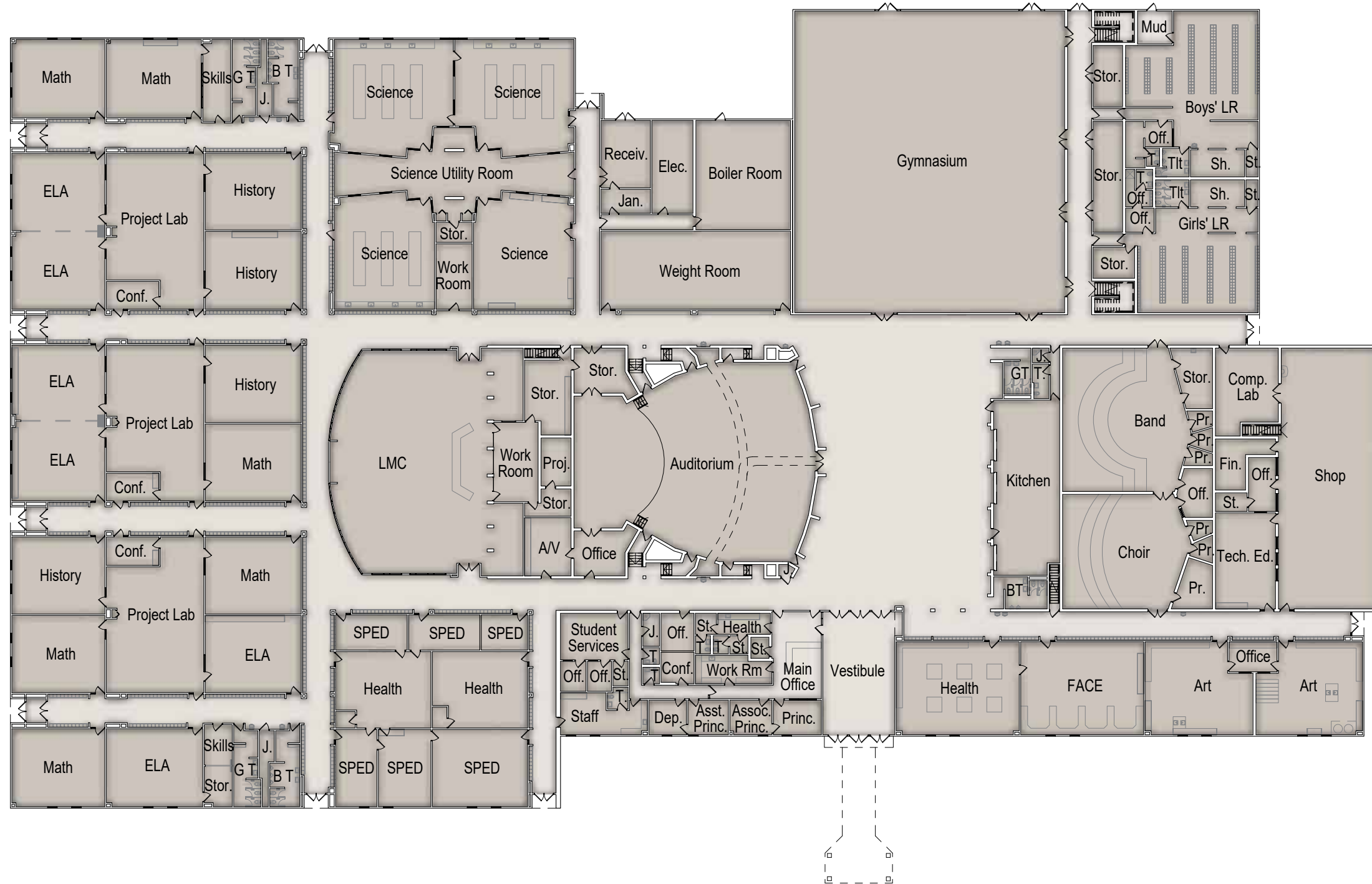
JAMES WILLIAMS MIDDLE SCHOOL: EXISTING SITE PLAN



SITE PLAN
not to scale



JAMES WILLIAMS MIDDLE SCHOOL: EXISTING FLOOR PLAN



FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



JAMES WILLIAMS MIDDLE SCHOOL: NEEDS ASSESSMENT

The following is a summary of potential improvements at James Williams Middle School. This is not intended to be a comprehensive list. The following information was obtained through notations made by Bray Architects at extensive tours of the building and grounds, as well as needs identified by District staff.

No.	James Williams Middle School Infrastructure Improvement	Type / Material	Area / Location	Analysis	Identified in Plans
Building Interior					
1	Walls				
a	Walls	concrete block	building	overall in good condition; few instances of cracking / chipping and staining	x
b	Walls	gypsum	building	overall in good condition; few instances of scuffs / marks, peeling paint	x
c	Walls	tile	toilet rooms, locker rooms	overall in good condition	
d	Walls	wood paneling	principal / assoc. principal offices	overall in good condition; dated	
2	Window Interior & Openings				
a	Interior Window	wood	building	overall in good condition	
b	Interior Window Sills	laminated	building	overall in good condition	
3	Interior Doors				
a	Interior Doors - Door / Frame	wood / hollow metal	building	overall in good condition; some instances of chipping / peeling on frame	x
b	Interior Doors - Door / Frame	wood w/ grille / hollow metal	building	overall in good condition; some instances of rust on frame, wear on door panel	
4	Ceilings				
a	Ceilings	acoustical ceiling tile	building	some instances of bowing, chipping, and / or staining	x
b	Ceilings	gypsum	building	overall in good condition; some instances of staining, paint peeling	x
c	Ceilings	concrete	mechanical, locker rooms, gymnasium	some instances of staining and cracking	x
d	Ceilings	metal deck	shop areas	overall in good condition	
e	Ceilings	spline	band/choir practice rooms	dated, visibly worn, potentially hazardous	x
5	Flooring				
a	Flooring	VCT	building	some instances of staining, cracking, holes, and separation	x
b	Flooring	carpet	building	overall in good condition; some instances of staining	
c	Flooring	carpet tile	vestibule	overall in good condition	
d	Flooring	terrazzo	commons, corridors	some instances of cracking and chipping	x
e	Flooring	1" tile	toilet rooms	visibly stained and / or has stained grout	
f	Flooring	wood	stage, gymnasium	overall in good condition	
g	Flooring	concrete	mech., janitor, auditorium seating	visibly stained, cracked, or chipped	x
h	Stair Treads	rubber	aux. gym stairs	some instances of wear and discoloration	
i	Stair Treads	metal	mech. mezz. stairs	visibly worn and rusted	
j	Stair Treads	terrazzo	auditorium stairs	overall in good condition	
k	Stair Treads	concrete	shop stairs	visibly stained, cracked, or chipped	
l	Base	vinyl	classrooms	overall in good condition; some instances of damage / missing boards	

JAMES WILLIAMS MIDDLE SCHOOL: NEEDS ASSESSMENT

No.	James Williams Middle School Infrastructure Improvement Building Interior	Type / Material	Area / Location	Analysis	Identified in Plans
m	Base	tile	locker rooms	visibly chipped, stained, has stained grout, missing in areas	
n	Base	terrazzo	vestibule, corridors	some instances of staining, cracking, and chipping, missing in areas	x
6 Miscellaneous					
a	Casework	wood	classrooms	overall in good condition; some signs of wear, dated, broken casework	
b	Casework	wood veneer / laminate	classrooms, corridors above lockers	overall in good condition	
c	Lockers	metal	corridors	overall in good condition; some instances of paint peeling, scratching, and denting, dated	
d	Bathroom Stall Partitions	metal / composite	toilet rooms	overall in good condition	



JAMES WILLIAMS MIDDLE SCHOOL: NEEDS ASSESSMENT

No.	James Williams Middle School	Type / Material	Area / Location	Analysis	Identified in Plans
7 Building Exterior / Envelope					
7 Walls					
a	Foundation Walls	concrete	building	some instances of cracking, chipping, and staining	x
b	Exterior Walls	stucco	building	overall in good condition; some instances of cracking / chipping and staining	x
c	Exterior Walls	concrete block	building	overall in good condition; few instances of cracking / chipping and staining in block and mortar	x
d	Exterior Walls	corrugated metal panel	east facade around shop areas, above doors	overall in good condition; some instances of denting / damage	x
8 Windows					
a	Windows	aluminum	building	visibly discolored and faded throughout, some instances of denting / damage to frame	see window analysis
b	Windows - Sills	metal	building	overall in good condition; some instances of fading / discoloration	
9 Doors					
a	Exterior Doors - Door / Frame	fiber reinforced plastic / hollow metal	building	overall in good condition; few instances of scratching / fading	see door analysis
b	Exterior Doors - Door / Frame	aluminum / aluminum storefront	door 1	overall in good condition; few instances of scratching / fading	see door analysis
c	Exterior Doors - Door / Frame	hollow metal / hollow metal	building	some instances of fading / discoloration, rusting	see door analysis
10 Roof					
a	Roof	-	building	see roof report	
b	Roof - Soffits	metal	building, above doors	overall in good condition	
	Roof - Soffits	stucco	building	overall in good condition; some instances of discoloration	
c	Roof - Fascia	corrugated metal panel	building	overall in good condition; some instances of denting	
11 Miscellaneous					
a	Columns	painting concrete	main entry overhang	some instances of paint peeling, chipping / crumbling at base, exposed rebar	x
Site Development					
12 Asphalt / Paving					
a	Parking Lots	asphalt	E site	surface weathering and / or cracking	
13 Site Concrete					
a	Sidewalks	concrete	site	overall in good condition; some instances of cracking and / or staining	
b	Door Stoops	concrete	site	overall in good condition; some instances of cracking and / or staining	
14 Greenspace					
a	Greenspace	-	site	overall in good condition	
15 Playground					
a	Playground Equipment	-	-	-	
b	Playground Surface	-	-	-	



FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



JAMES WILLIAMS MIDDLE SCHOOL: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of James Williams Middle School regarding compliance with building code requirements under the Americans with Disabilities Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Useable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and gathered through extensive tours and assessment of the existing building facility. Please see the following pages provide additional details.

At James Williams Middle School, there are items that comply with current code requirements. Some of these items include:

- Providing ADA accessible route(s) of travel into the building
- Providing designated ADA accessible parking stalls
- Door hardware meets ADA compliant standards
- Providing a 3'-0" length of workstation counter at an ADA compliant height

There are, however, items that do not meet current code requirements. Some of these items include:

- Having area(s) of the building that are inaccessible due to grade level changes
- Railing(s) do not meet ADA compliant standards
- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Restroom(s) do not meet ADA compliant standards for wheelchair clearances
- Restroom(s) do not contain an ADA compliant stall
- Toilet grab bars do not meet ADA compliant standards
- Not providing ADA required wing walls for protruding object(s)
- Not providing a 3'-0" length of transaction counter at an ADA compliant height

Items that do not meet current code requirements and occur at multiple instances throughout the building include:

- Railing(s) do not meet ADA compliant standards
- Not maintaining the proper maneuvering clearances
- Restroom(s) do not contain an ADA compliant stall

Most concerning items that do not meet current code requirements include:

- Restroom(s) do not contain an ADA compliant stall

While it is not required by code, having an ADA-accessible unisex restroom within the facility is strongly recommended by the Bray Architects team. The building currently does not contain an ADA-accessible unisex restroom.

When considering potential solutions, potentially renovating or replacing items as needed to meet current code requirements, it is important to note that some of these items may be more easily resolved than others. These items may be integrated into a District-wide Capital Improvement Plan (CIP), and could be brought into compliance as a whole or spread out over time as needed. Some of these more manageable items may include:

- Replacement of railings to meet ADA compliant standards
- Replacement/relocation of toilet grab bars to meet ADA-compliant standards

Other items may require more extensive renovation solutions in order to meet current code requirements. It is important to note that there may be instances where current building conditions may restrict the ability to resolve these items in an effective and budget-conscious manner. These items may include:

- Maintaining the proper maneuver clearances
- Providing an elevator to area(s) of the building that are currently inaccessible
- Providing an ADA compliant stall at restroom(s)

JAMES WILLIAMS MIDDLE SCHOOL: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of James Williams Middle School in regards to meeting building code requirements under the Americans with Disability Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Usable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and engineers gathered through extensive tours and assessment of the existing building facility.

No.	James Williams Middle School	Area / Location	Analysis	Potential Solution	Identified in Plans
ADA Accessibility					
1	Building Entrance				
a	Accessible Route of Travel	building	there are ADA compliant accessible routes of travel into the building	-	
2	Parking				
a	ADA Parking Stalls	parking lot	there are designated ADA compliant stalls	-	
3	Ramps & Lifts				
a	Accessible Routes of Travel Between Floor Levels - Ramps	-	-	-	
b	Accessible Routes of Travel Between Floor Levels - Lifts	-	-	-	
c	Accessible Routes of Travel Between Floor Levels - Elevators	second floor	there are multiple stacked levels that are inaccessible	provide an elevator	
4	Railings				
a	Stair Railings	building	ADA compliant standards for stair railings are not met	renovate as needed	x
b	Ramp Railings	-	-	-	
5	Maneuvering, Thresholds, & Push / Pull				
a	Push / Pull	building	ADA compliant standards for push/pull are not met	renovate as needed	x
b	Maneuvering	vestibules, locker room corridors	ADA compliant standards for maneuvering are not met	renovate as needed	x
c	Thresholds	locker rooms	ADA compliant standards for thresholds are not met	renovate as needed	x
6	Door Hardware & Panic Hardware				
a	Door Hardware	building	door hardware is ADA compliant	-	
7	Restrooms				
a	5'-0" Wheelchair Clearance	building	ADA compliant standards for wheelchair clearance are not met	renovate as needed	x
b	ADA Accessible Stall	building	ADA compliant stall is not provided	renovate as needed to provide ADA compliant stall	x
c	Unisex Restrooms	building	at least (1) ADA compliant unisex restroom at each floor level is not met	renovate as needed to provide at least (1) ADA compliant unisex restroom at each floor level	
d	Grab Bars	building	ADA compliant standards for grab bars are not met	renovate to provide ADA compliant grab bars	x
e	Showers	building	ADA compliant standards for showers are not met	renovate as needed	x
8	Drinking Fountains & Protruding Objects				
a	Drinking Fountains	building	drinking fountain appears to be at ADA compliant height	-	
b	Protruding Objects	building	ADA required wing walls are not present	renovate as needed	
9	Casework, Transaction Counters, & Counters with Sinks				
a	Transaction Counters	main office	does not contain at least 3'-0" length of transaction counter at ADA compliant height	provide 3'-0" of counter space at an ADA compliant height	x
b	Workstation Counters	building	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
c	Counters with Sinks	building	appears to contain at least one sink at ADA compliant height	-	





FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



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ROOF DIAGRAM

ROOF PLAN
not to scale



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JAMES WILLIAMS MIDDLE SCHOOL: EXTERIOR DOOR ANALYSIS

James Williams Middle School			
No.	Door Type	Frame Type	Consider Replacement
1	Fiber Reinforced Plastic	Aluminum Storefront	
2	Hollow Metal	Hollow Metal Storefront	x
3	Hollow Metal	Hollow Metal Storefront	x
4	Hollow Metal	Hollow Metal Storefront	x
5	Hollow Metal	Hollow Metal Storefront	
6	Hollow Metal	Hollow Metal Storefront	
7	Hollow Metal	Hollow Metal Storefront	
8	Fiber Reinforced Plastic	Hollow Metal Storefront	
9	Fiber Reinforced Plastic	Hollow Metal Storefront	
10	Fiber Reinforced Plastic	Hollow Metal	x
11	Hollow Metal	Hollow Metal	
12	Fiber Reinforced Plastic	Aluminum Storefront	
13	Fiber Reinforced Plastic	Aluminum Storefront	
14	Fiber Reinforced Plastic	Aluminum Storefront	x
15	Hollow Metal	Hollow Metal	x
16	Fiber Reinforced Plastic	Aluminum Storefront	
17	Fiber Reinforced Plastic	Aluminum	
18	Fiber Reinforced Plastic	Aluminum Storefront	



2 HOLLOW METAL DOORS & HOLLOW METAL STOREFRONT



7 HOLLOW METAL DOORS & HOLLOW METAL STOREFRONT



9 FRP DOORS & HOLLOW METAL STOREFRONT



18 FRP DOORS & ALUMINUM STOREFRONT



15 HOLLOW METAL DOOR & HOLLOW METAL FRAME



10 FRP DOORS & HOLLOW METAL FRAME



JAMES WILLIAMS MIDDLE SCHOOL: EXTERIOR DOOR ANALYSIS



FIRST FLOOR PLAN
not to scale



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JAMES WILLIAMS MIDDLE SCHOOL: EXTERIOR WINDOW ANALYSIS

James Williams Middle School			
No.	Window Type	Consider Replacement	
143D	Aluminum w/ Double Pane		
141G	Aluminum w/ Double Pane	x	discolored, glass worn / damaged
141F	Aluminum w/ Double Pane		
141E	Aluminum w/ Double Pane		
141D	Aluminum w/ Double Pane		
105	Aluminum w/ Double Pane	x	discolored, screens worn, paint chipping
155	Aluminum w/ Double Pane	x	discolored, frame worn
111	Aluminum w/ Double Pane		
112	Aluminum w/ Double Pane		
113	Aluminum w/ Double Pane		
114	Aluminum w/ Double Pane		
118A	Aluminum w/ Double Pane	x	frame dented / bent
118	Aluminum w/ Double Pane		
119	Aluminum w/ Double Pane		
123	Aluminum w/ Double Pane		
124	Aluminum w/ Double Pane		
128A	Aluminum w/ Double Pane	x	frame dented / bent
128	Aluminum w/ Double Pane		
129A	Aluminum w/ Double Pane	x	frame dented, paint peeling
129	Aluminum w/ Double Pane	x	frame bent, paint peeling
130	Aluminum w/ Double Pane	x	paint bubbling / chipping
131	Aluminum w/ Double Pane	x	frame dented, paint peeling
135A	Aluminum w/ Double Pane		
135	Aluminum w/ Double Pane		
101	Aluminum w/ Double Pane		
102	Aluminum w/ Double Pane		
103	Aluminum w/ Double Pane		
104A	Aluminum w/ Double Pane		
104	Aluminum w/ Double Pane	x	discolored, paint peeling



141G

ALUMINUM W/ DOUBLE PANE



155

ALUMINUM W/ DOUBLE PANE



118A

ALUMINUM W/ DOUBLE PANE



135A

ALUMINUM W/ DOUBLE PANE



130

ALUMINUM W/ DOUBLE PANE



128A

ALUMINUM W/ DOUBLE PANE



JAMES WILLIAMS MIDDLE SCHOOL: EXTERIOR WINDOW ANALYSIS



FIRST FLOOR PLAN
not to scale



JAMES WILLIAMS MIDDLE SCHOOL: FLOORING IDENTIFICATION

Color Key

- = VCT
- = Carpet
- = Carpet Tile
- = Tile
- = Concrete
- = Rubber
- = Wood
- = Terrazzo
- = Metal



FIRST FLOOR PLAN
not to scale



JAMES WILLIAMS MIDDLE SCHOOL: FLOORING IDENTIFICATION

Color Key

- = VCT
- = Carpet
- = Carpet Tile
- = Tile
- = Concrete
- = Rubber
- = Wood
- = Terrazzo
- = Metal



SECOND FLOOR PLAN
not to scale



6 RHINELANDER HIGH SCHOOL

Rhineland High School provides a comprehensive program for 9th through 12th grade students.

BUILDING AREA: 229,200 sq. ft.
STUDENT POPULATION: 856 STUDENTS
GRADES SERVED: 9TH-12TH GRADES
SITE SIZE: 104.67 ACRES
PARKING: 424 STALLS



RHINELANDER HIGH SCHOOL: BUILDING EVOLUTION

Rhineland High School was originally constructed in 1958. There have been a few additions in 1958, 1974, 1999, and 2012. The largest of these was in 2012, the LMC and new entry were added.

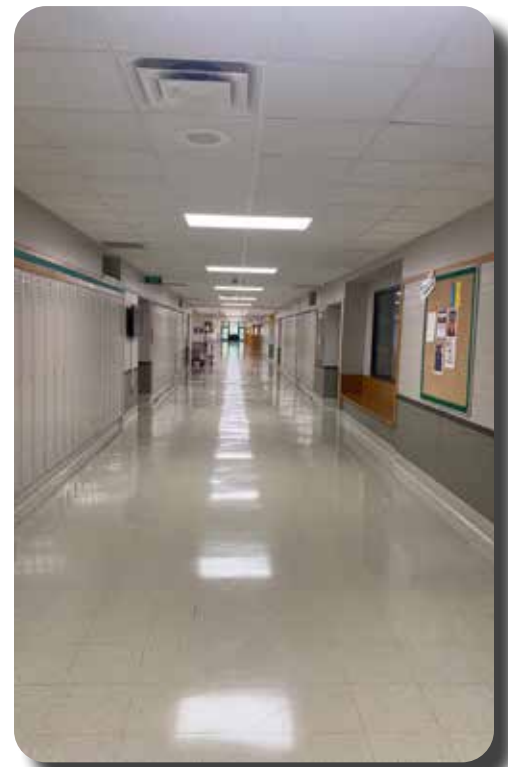
The following building evolution diagram outlines the building's development over time.



Rhineland High School Main Office



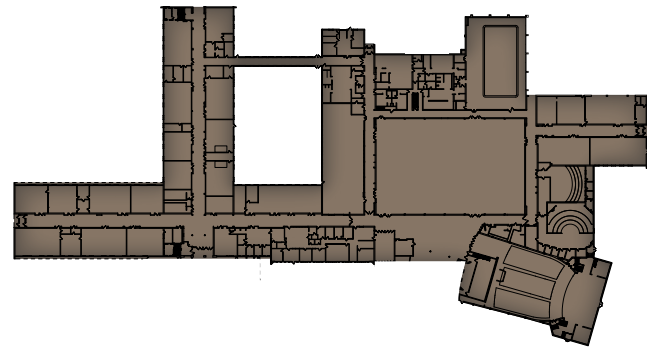
Rhineland High School Classroom



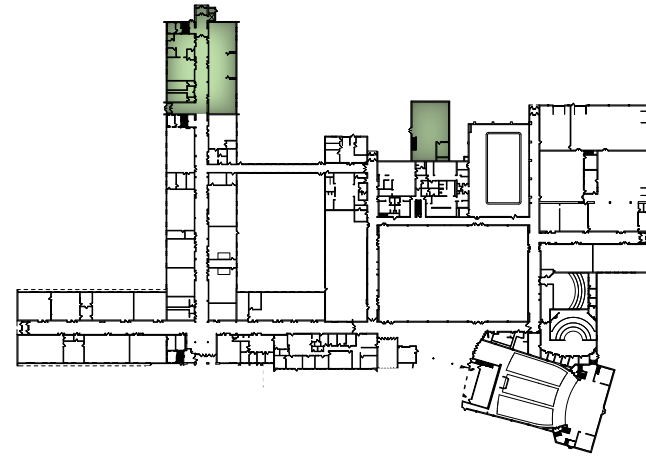
Rhineland High School Corridor



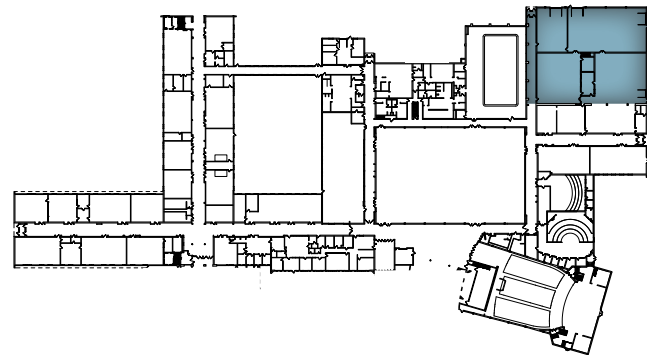
RHINELANDER HIGH SCHOOL: BUILDING EVOLUTION



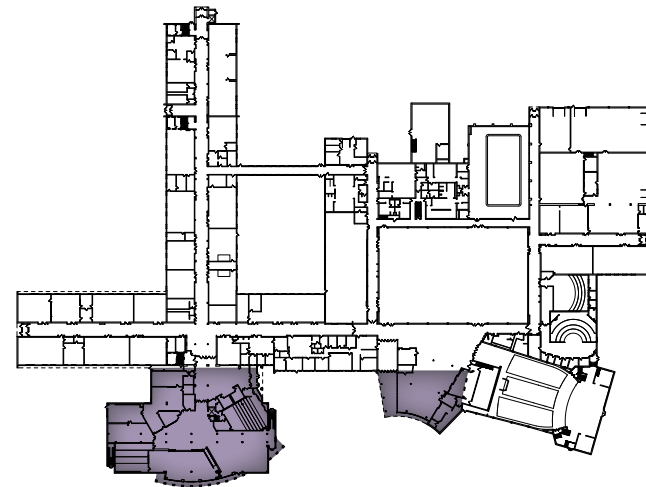
1958



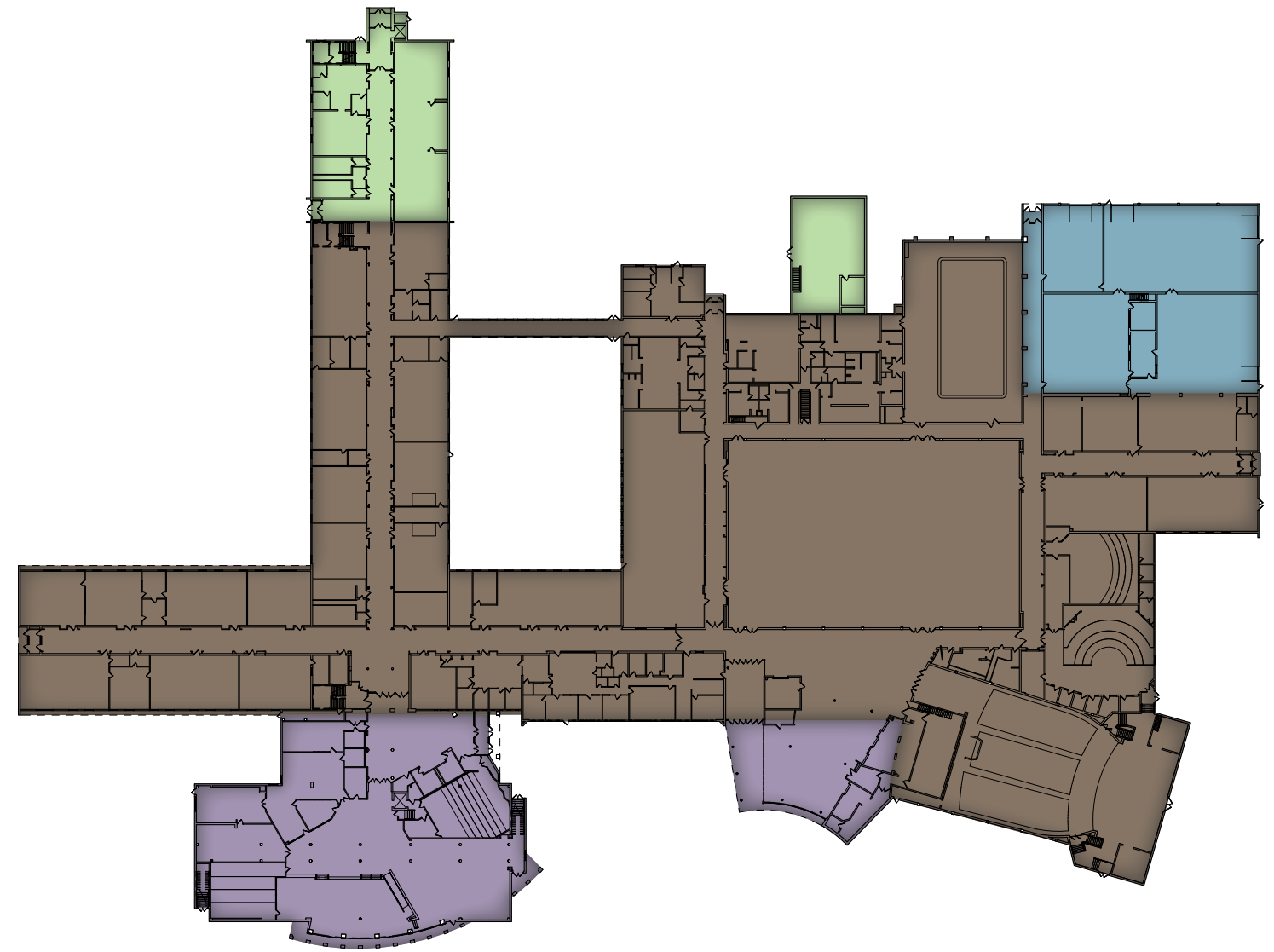
1999



1974



2012



= 1958 - Original

= 1974 - Shop Addition

= 1999 - Classroom/Boiler Addition

= 2012 - LMC/Entry Addition

*Dates of construction based on information identified in existing building drawings or information provided by the District.



RHINELANDER HIGH SCHOOL: EXISTING SITE PLAN



SITE PLAN
not to scale

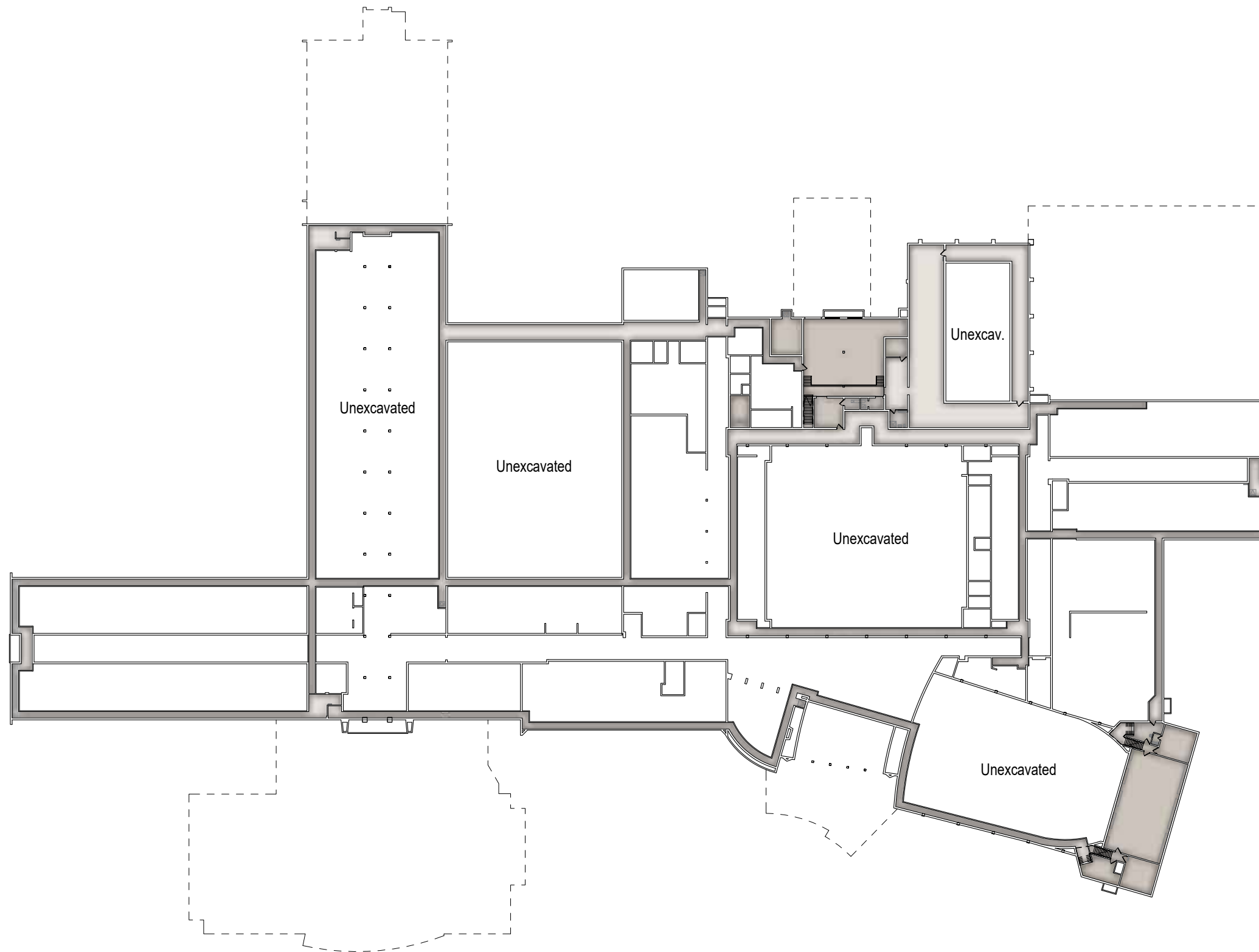


RHINELANDER HIGH SCHOOL: EXISTING SITE PLAN



SITE PLAN
not to scale

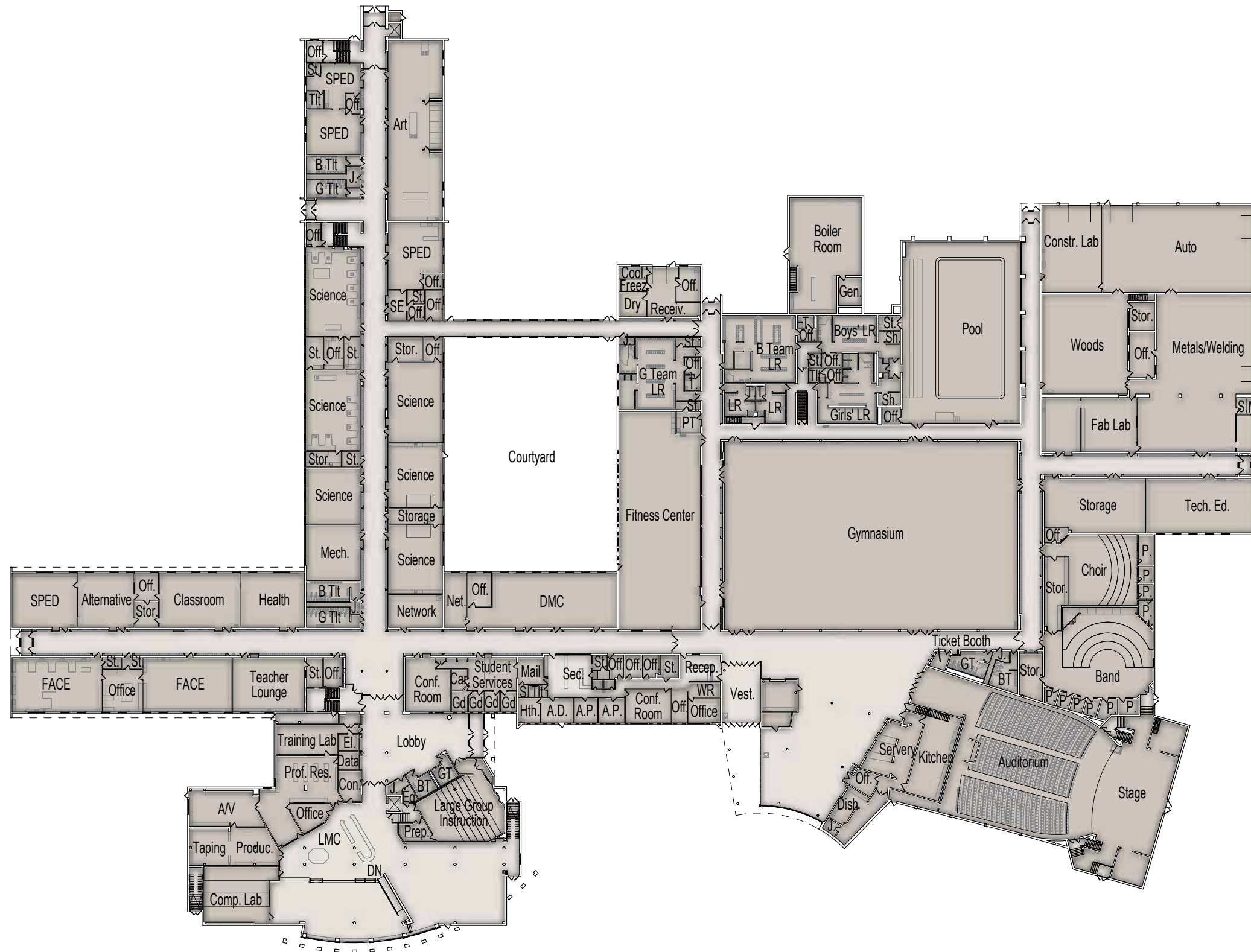




LOWER LEVEL PLAN
not to scale

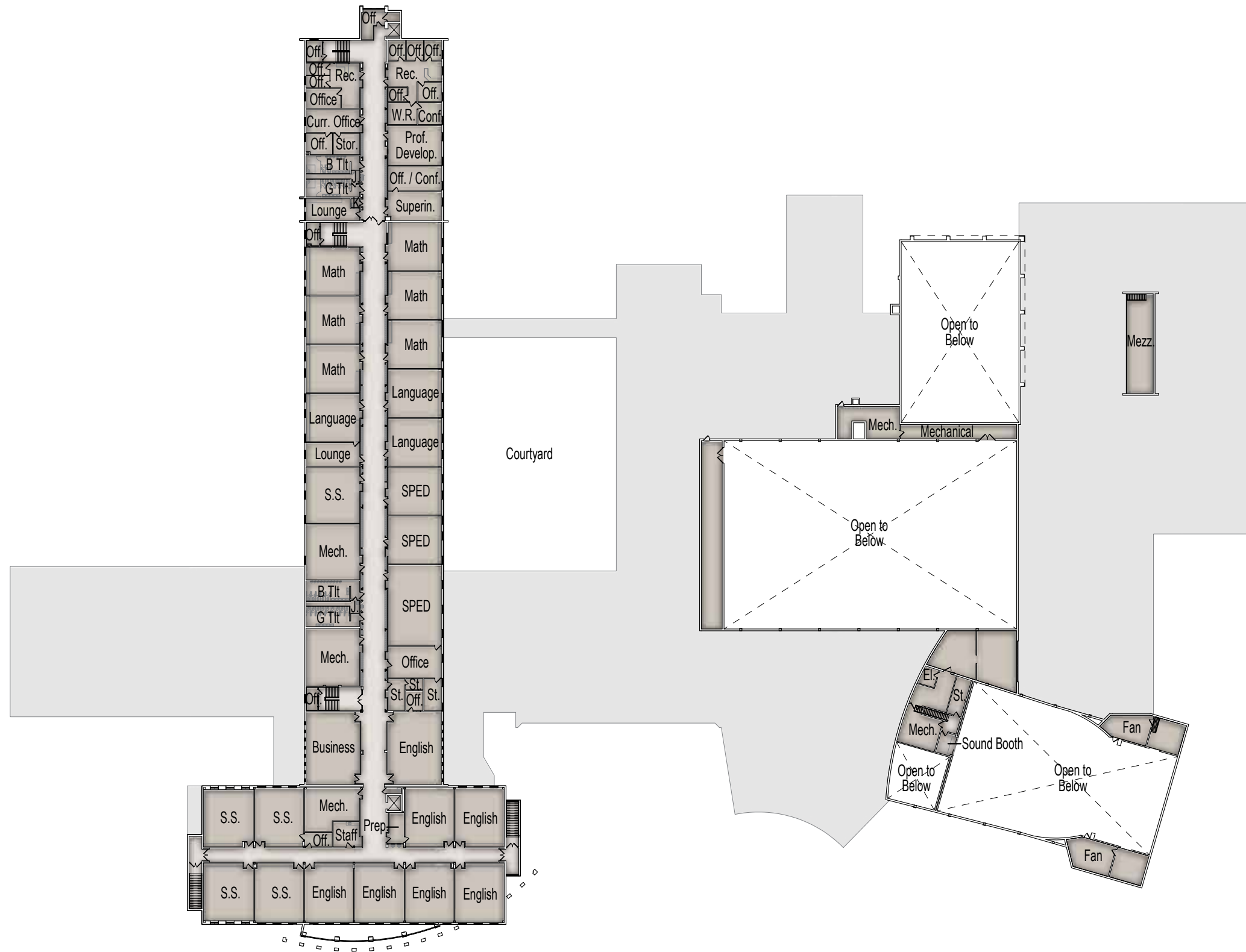


RHINELANDER HIGH SCHOOL: EXISTING FLOOR PLAN



FIRST FLOOR PLAN
not to scale





SECOND FLOOR PLAN
not to scale



RHINELANDER HIGH SCHOOL: NEEDS ASSESSMENT

The following is a summary of potential improvements at Rhinelander High School. This is not intended to be a comprehensive list. The following information was obtained through notations made by Bray Architects at extensive tours of the building and grounds, as well as needs identified by District staff. **It is important to note that due to flooding, limited data could be found on the lower level.

No.	Rhinelander High School	Type / Material	Area / Location	Analysis	Identified in Plans
Infrastructure Improvement					
Building Interior					
1	Walls				
a	Walls	concrete block	building	overall in good condition; few instances of cracking, holes, and / or scuffing	x
b	Walls	fabric accordion partition	classrooms	overall in good condition	
c	Walls	gypsum	building	overall in good condition; few instances of cracking and / or holes	x
d	Walls	tile	toilet rooms / corridors / kitchen	overall in good condition	
2	Window Interior & Openings				
a	Interior Window	aluminum	building	overall in good condition	
b	Interior Window Sills	stone	building	chipped and cracked	
3	Interior Doors				
a	Interior Doors - Door / Frame	wood / hollow metal	building	overall in good condition	
b	Interior Doors - Door / Frame	hollow metal / hollow metal	building	overall in good condition	
4	Ceilings				
a	Ceilings	acoustical ceiling tile	building	some instances of bowing, chipping, staining, and / or loose tracks	x
b	Ceilings	gypsum	building	overall in good condition; few instances of cracking	x
c	Ceilings	spline	LMC lobby stair / auditorium stairs	dated and potentially hazardous	x
d	Ceilings	metal deck	mechanical spaces / gymnasium	overall in good condition	
5	Flooring				
a	Flooring	VCT	building	some instances of staining, cracking, separation, and / or bubbling	x
b	Flooring	carpet	building	overall in good condition; few instances of staining and / or tearing	x
c	Flooring	carpet tile	DMC	overall in good condition	
d	Flooring	2" tile	toilet rooms / pool / locker rooms	overall in good condition	
e	Flooring	6" tile	locker rooms	overall in good condition; some instances of cracking and / or staining	x
f	Flooring	12" tile	corridor / cafeteria / toilet rooms	overall in good condition; some instances of cracking	x
g	Flooring	potential asbestos tile	stair landings / storage	dated, visibly worn, and potentially hazardous	x
h	Flooring	quarry tile	kitchen	overall in good condition	
i	Flooring	rubber	fitness center	overall in good condition	
j	Flooring	wood	gymnasium	overall in good condition	

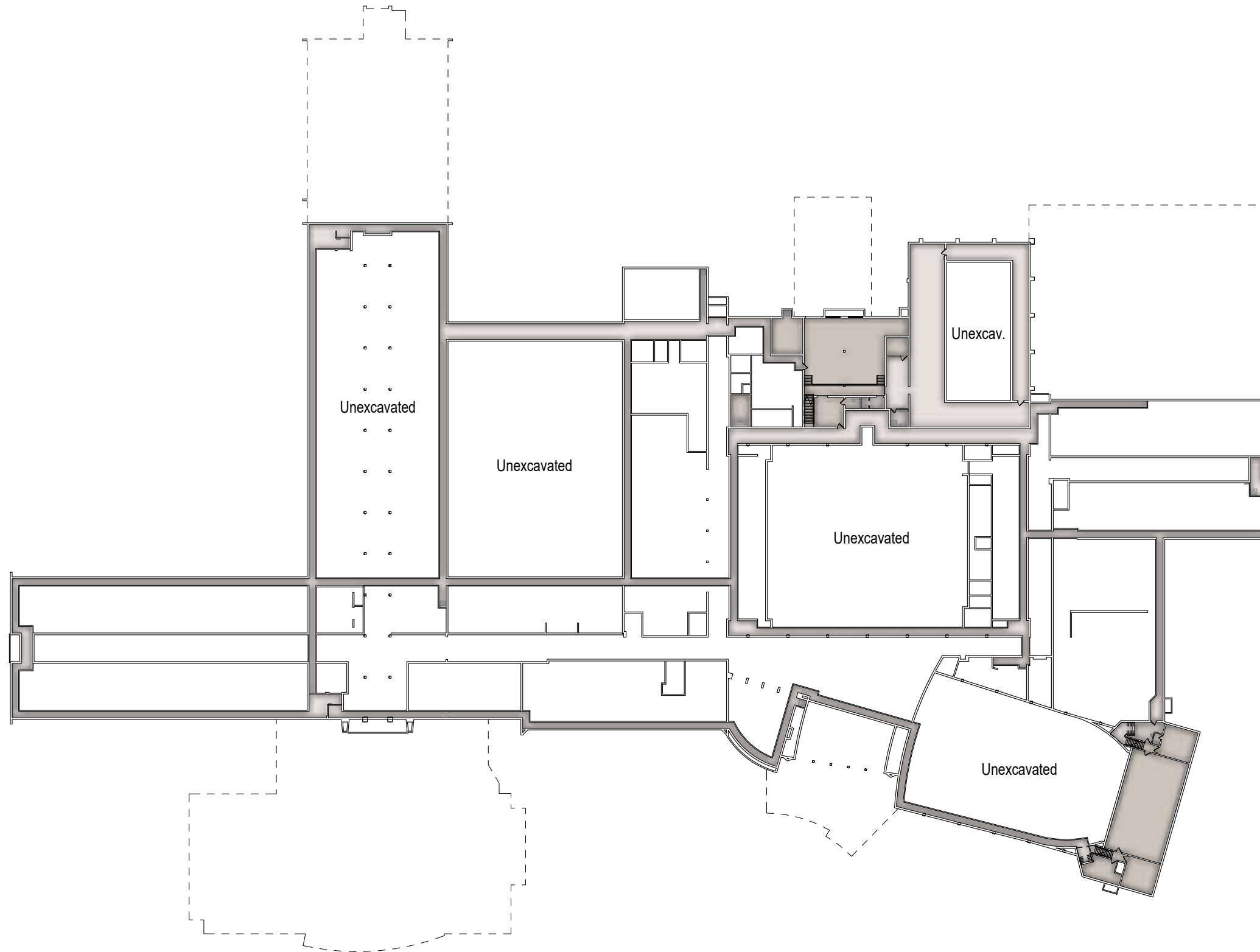
RHINELANDER HIGH SCHOOL: NEEDS ASSESSMENT

No.	Rhineland High School Infrastructure Improvement Building Interior	Type / Material	Area / Location	Analysis	Identified in Plans
k	Flooring	concrete	mechanical / janitor / storage / shop	visibly stained, cracked, and / or chipped	x
l	Stair Treads	tile	building	dated, visibly worn and / or cracking	x
m	Stair Treads	rubber	LMC	missing and / or peeling	x
n	Base	vinyl	building	overall in good condition; few instances of missing strips	x
o	Base	tile	toilet rooms / locker rooms / classrooms	overall in good condition; few instances of cracking	
6	Miscellaneous				
a	Casework	wood veneer / laminate	classrooms	overall in good condition; some instances of missing laminate and / or hardware	x
b	Lockers	metal	corridors / offices	overall in good condition	
c	Bathroom Stall Partitions	metal / composite	toilet rooms	overall in good condition	
d	Railings	metal	building	paint peeling	



RHINELANDER HIGH SCHOOL: NEEDS ASSESSMENT

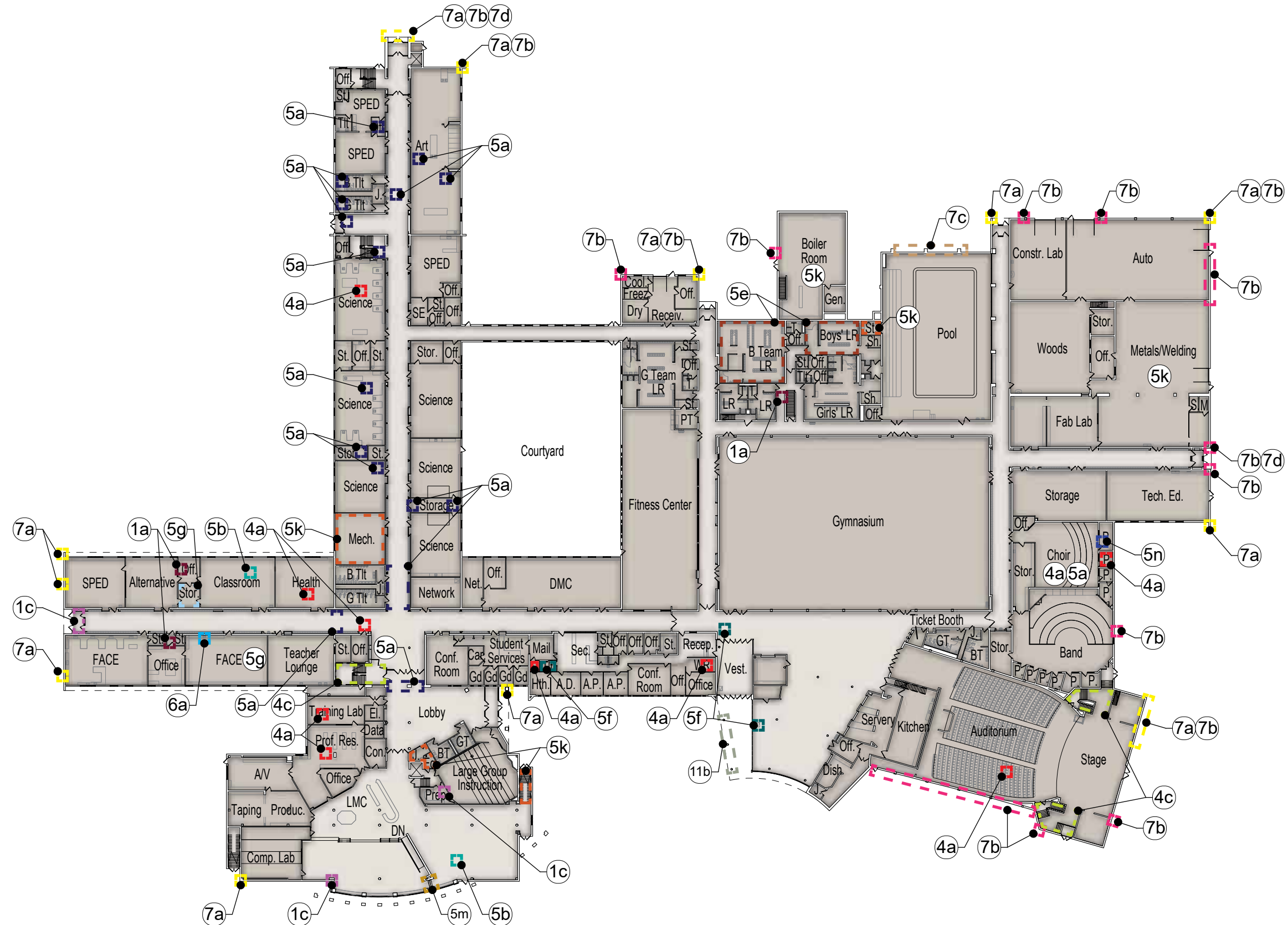
No.	Rhineland High School	Type / Material	Area / Location	Analysis	Identified in Plans
Building Exterior / Envelope					
7	Walls				
a	Foundation Walls	concrete	building	overall in good condition; few instances of cracking and / or staining	x
b	Exterior Walls	brick	building	some instances of cracking, chipping, patching, and / or staining beneath windows on NW façades	x
c	Exterior Walls	painted concrete block	pool	overall in good condition; few instances of weathering, staining, and paint peeling	x
d	Exterior Walls	cementitious panel	building	overall in good condition; few instances of holes and staining	x
8	Windows				
a	Windows	aluminum	building	overall in fair condition; some instances of sealant peeling, rusting, and / or worn screens, one covered in dented panel	see window analysis
b	Windows - Sills	metal	building	overall in good condition	
c	Windows - Lintel	metal	building	overall in good condition; few instances of rusting	
9	Doors				
a	Exterior Doors - Door / Frame	aluminum / aluminum storefront	building	overall in good condition	see door analysis
b	Exterior Doors - Door / Frame	hollow metal / hollow metal	building	overall in good condition; few instances of fading and rusting at base	see door analysis
c	Exterior Doors - Door / Frame	fiber reinforced plastic / aluminum	building	overall in good condition	see door analysis
10	Roof				
a	Roof	-	building	see roof report	
b	Roof - Soffits	metal	door overhangs	overall in fair condition; few instances of rusting and / or staining	
c	Roof - Soffits	wood	W wing	chipping and paint peeling	x
d	Roof - Fascia	metal	building	overall in good condition	
11	Miscellaneous				
a	Exhausts	metal	building	overall in fair condition; some instances of rusting	
b	Columns	metal	building	rusting at base	x
Site Development					
12	Asphalt / Paving				
a	Parking Lots	asphalt	site	surface weathering and / or cracking	
b	Tennis Courts	asphalt	E site	overall in good condition	
13	Site Concrete				
a	Sidewalks	concrete	site	overall in fair condition; some instances of cracking	
b	Door Stoops	concrete	site	overall in fair condition; some instances of cracking	
14	Greenspace				
a	Greenspace	grass	site	overall in good condition	



**Note: Due to flooding, limited data could be found on the lower level.

LOWER LEVEL PLAN
not to scale





FIRST FLOOR PLAN
not to scale



RHINELANDER HIGH SCHOOL: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Rhinelander High School regarding compliance with building code requirements under the Americans with Disabilities Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Useable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and gathered through extensive tours and assessment of the existing building facility. Please see the following pages provide additional details.

At Rhinelander High School, there are items that comply with current code requirements. Some of these items include:

- Providing ADA accessible route(s) of travel into the building
- Having accessible routes of travel through all areas of the building
- Providing designated ADA accessible parking stalls
- Providing a 3'-0" length of workstation counter at an ADA compliant height

There are, however, items that do not meet current code requirements. Some of these items include:

- Railing(s) do not meet ADA compliant standards
- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Door hardware does not meet ADA compliant standards
- Restroom(s) do not meet ADA compliant standards for wheelchair clearances
- Restroom(s) do not contain an ADA compliant stall
- Toilet grab bars do not meet ADA compliant standards
- Not providing ADA required wing walls for protruding object(s)
- Not providing a 3'-0" length of transaction counter at an ADA compliant height

Items that do not meet current code requirements and occur at multiple instances throughout the building include:

- Not maintaining the proper push/pull clearances at doors
- Not maintaining the proper maneuvering clearances
- Toilet grab bars do not meet ADA compliant standards

Most concerning items that do not meet current code requirements include:

- Not maintaining the proper push/pull clearances at doors

While it is not be required by code, having an ADA-accessible unisex restroom within the facility is strongly recommended by the Bray Architects team. The building currently does not contain an ADA-accessible unisex restroom.

When considering potential solutions, potentially renovating or replacing items as needed to meet current code requirements, it is important to note that some of these items may be more easily resolved than others. These items may be integrated into a District-wide Capital Improvement Plan (CIP), and could be brought into compliance as a whole or spread out over time as needed. Some of these more manageable items may include:

- Replacement of railings to meet ADA compliant standards
- Replacement/relocation of toilet grab bars to meet ADA-compliant standards

Other items may require more extensive renovation solutions in order to meet current code requirements. It is important to note that there may be instances where current building conditions may restrict the ability to resolve these items in an effective and budget-conscious manner. These items may include:

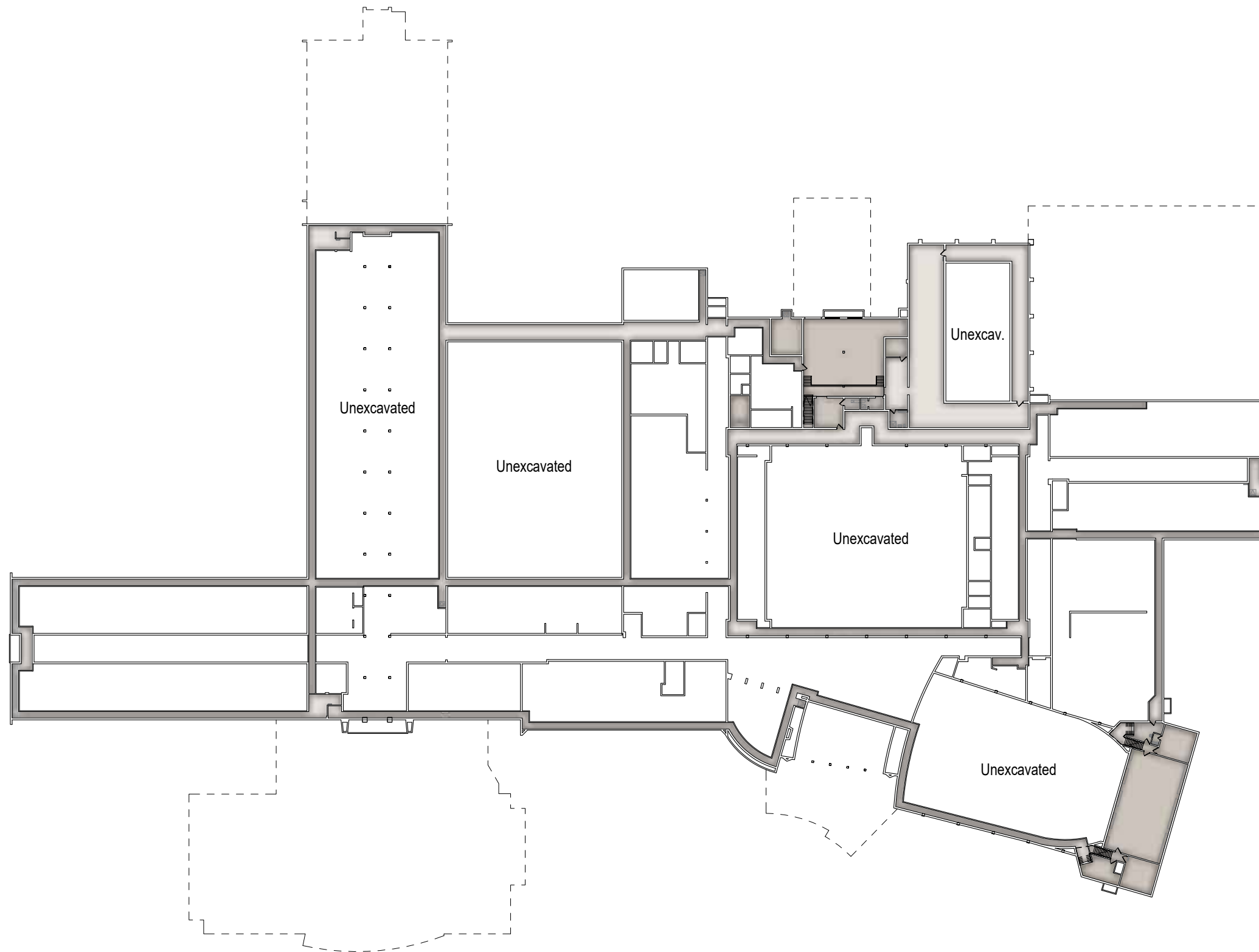
- Maintaining the proper push/pull clearances at doors
- Maintaining the proper maneuver clearances
- Providing an ADA compliant stall at restroom(s)

RHINELANDER HIGH SCHOOL: ADA ACCESSIBILITY ASSESSMENT

The following is an analysis of Rhinelander High School in regards to meeting building code requirements under the Americans with Disability Act (ADA) and regulated by the American National Standard (ANSI) Accessible and Usable Buildings and Facilities. This is not intended to be a comprehensive list, but an analysis as identified by Bray Architects and engineers gathered through extensive tours and assessment of the existing building facility.

No.	Rhinelander High School	Area / Location	Analysis	Potential Solution	Identified in Plans
ADA Accessibility					
1	Building Entrance				
a	Accessible Route of Travel	building	there are ADA compliant accessible routes of travel into the building	-	
2	Parking				
a	ADA Parking Stalls	W and E parking lots	there are designated ADA compliant stalls	-	
3	Ramps & Lifts				
a	Accessible Routes of Travel Between Floor Levels - Ramps	auditorium, LMC	ADA compliant standards for ramps appear to be met	-	
b	Accessible Routes of Travel Between Floor Levels - Lifts	auditorium	ADA compliant standards for lifts appear to be met	-	
c	Accessible Routes of Travel Between Floor Levels - Elevators	building	ADA compliant standards for elevators appear to be met	-	
4	Railings				
a	Stair Railings	building	ADA compliant standards for railings are not met	remove / replace to provide ADA compliant railings	x
b	Ramp Railings	auditorium, LMC	ADA compliant standards for railings appear to be met	-	
5	Maneuvering, Thresholds, & Push / Pull				
a	Push / Pull	building	ADA compliant standards for push/pull are not met	renovate as needed	x
b	Maneuvering	building	ADA compliant standards for maneuvering are not met	renovate as needed	x
c	Thresholds	building	ADA compliant standards for thresholds are not met	renovate as needed	x
6	Door Hardware & Panic Hardware				
a	Door Hardware	building	door hardware is not ADA compliant	replace as needed	x
7	Restrooms				
a	5'-0" Wheelchair Clearance	building	ADA compliant standards for wheelchair clearance appear to be met	renovate as needed to provide ADA compliant standards for wheelchair clearance	x
b	ADA Accessible Stall	building	ADA compliant stall is not provided	renovate as needed to provide at least (1) ADA compliant stall for the group restroom	x
c	Unisex Restrooms	building	at least (1) ADA compliant unisex restroom at each floor level is not met	renovate as needed to provide at least (1) ADA compliant unisex restroom at each floor level	
d	Grab Bars	building	ADA compliant standards for grab bars are not met	renovate to provide ADA compliant grab bars	x
e	Showers	locker rooms	ADA compliant standards for showers appear to be met	-	
8	Drinking Fountains & Protruding Objects				
a	Drinking Fountains	building	drinking fountain appears to be at ADA compliant height	-	
b	Protruding Objects	building	ADA required wing walls are not present	provide ADA compliant wing walls	x
9	Casework, Transaction Counters, & Counters with Sinks				
a	Transaction Counters	district offices	does not contain at least 3'-0" length of transaction counter at ADA compliant height	provide 3'-0" length of counter space at ADA compliant height	x
b	Workstation Counters	building	appears to contain at least 3'-0" length of transaction counter at ADA compliant height	-	
c	Counters with Sinks	building	does not contain at least one sink at ADA compliant height	provide 3'-0" length of counter / workspace at ADA compliant height	x

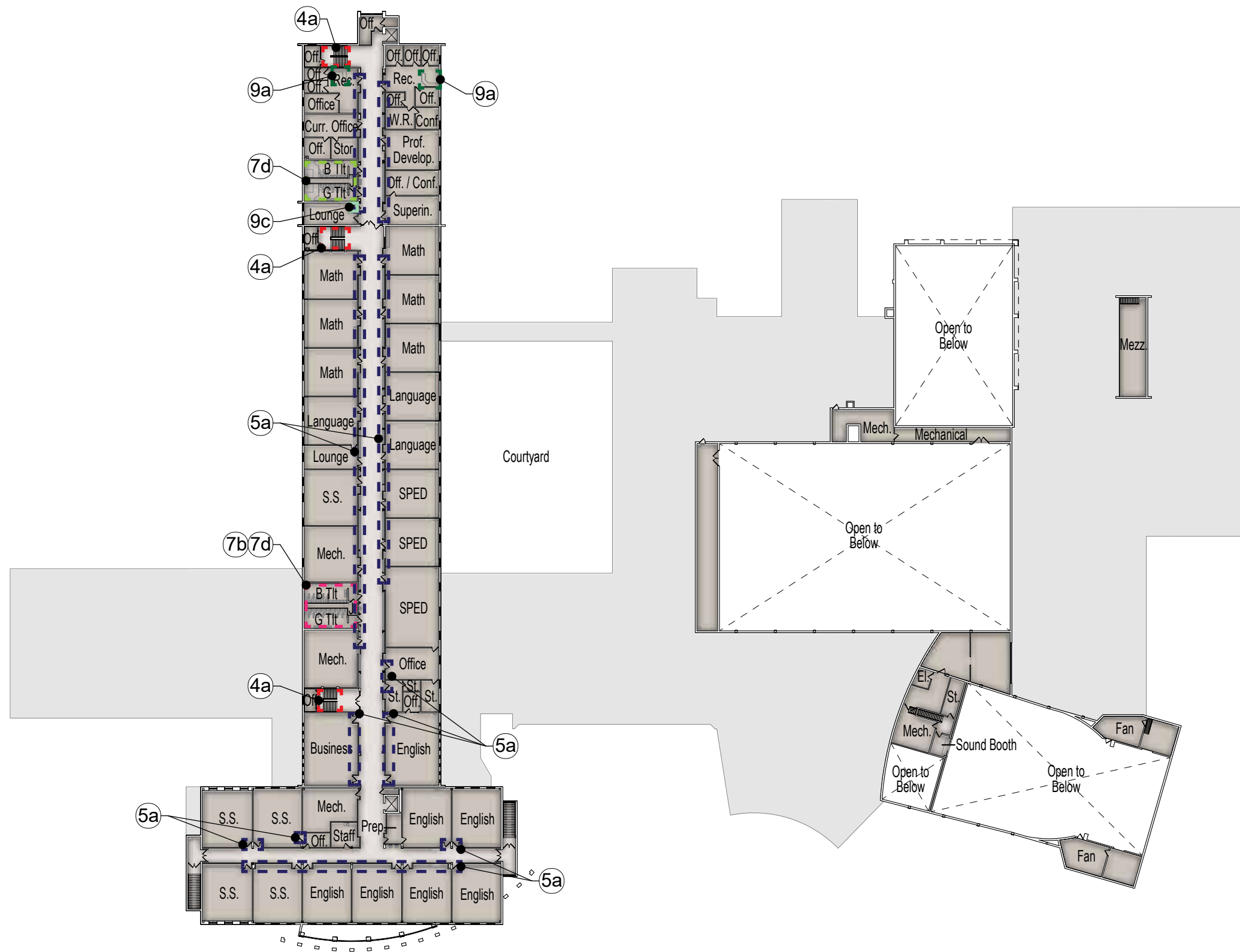




**Note: Due to flooding, limited data could be found on the lower level.

LOWER LEVEL PLAN
not to scale





SECOND FLOOR PLAN
not to scale



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ROOF DIAGRAM

ROOF PLAN
not to scale



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RHINELANDER HIGH SCHOOL: EXTERIOR DOOR ANALYSIS

Rhineland High School			
No.	Door Type	Frame Type	Consider Replacement
1	Aluminum	Aluminum Storefront	
1A	Hollow Metal	Hollow Metal	x
2	Aluminum	Aluminum Storefront	
3	Aluminum	Aluminum Storefront	
4	Aluminum	Aluminum Storefront	
5	Aluminum	Aluminum Storefront	
6	Aluminum	Aluminum Storefront	
7	Fiber Reinforced Plastic	Aluminum	
9	Hollow Metal	Hollow Metal	
10	Aluminum	Aluminum Storefront	
11	Aluminum	Aluminum Storefront	
12	Fiber Reinforced Plastic	Aluminum	
13	Fiber Reinforced Plastic	Aluminum Storefront	
14	Hollow Metal	Hollow Metal	x
15	Hollow Metal	Hollow Metal	x
16	Hollow Metal	Hollow Metal	x
17	Roll-up Door	N/A	x
18	Fiber Reinforced Plastic	Aluminum	
19	Aluminum	Aluminum Storefront	
21	Hollow Metal	Hollow Metal	x
22	Fiber Reinforced Plastic	Aluminum Storefront	
23	Roll-up Door	N/A	
24	Hollow Metal	Aluminum	x
25	Roll-up Door	N/A	
26	Roll-up Door	N/A	
27	Hollow Metal	Aluminum	x
28	Roll-up Door	N/A	x
29	Hollow Metal	Hollow Metal	x
30	Aluminum	Aluminum Storefront	
31	Hollow Metal	Hollow Metal	x
32	Hollow Metal	Aluminum	
33	Hollow Metal	Hollow Metal	
34	Hollow Metal	Aluminum	
35	Hollow Metal	Hollow Metal	



10 ALUMINUM DOORS & ALUMINUM STOREFRONT



12 FRP DOORS & ALUMINUM FRAME



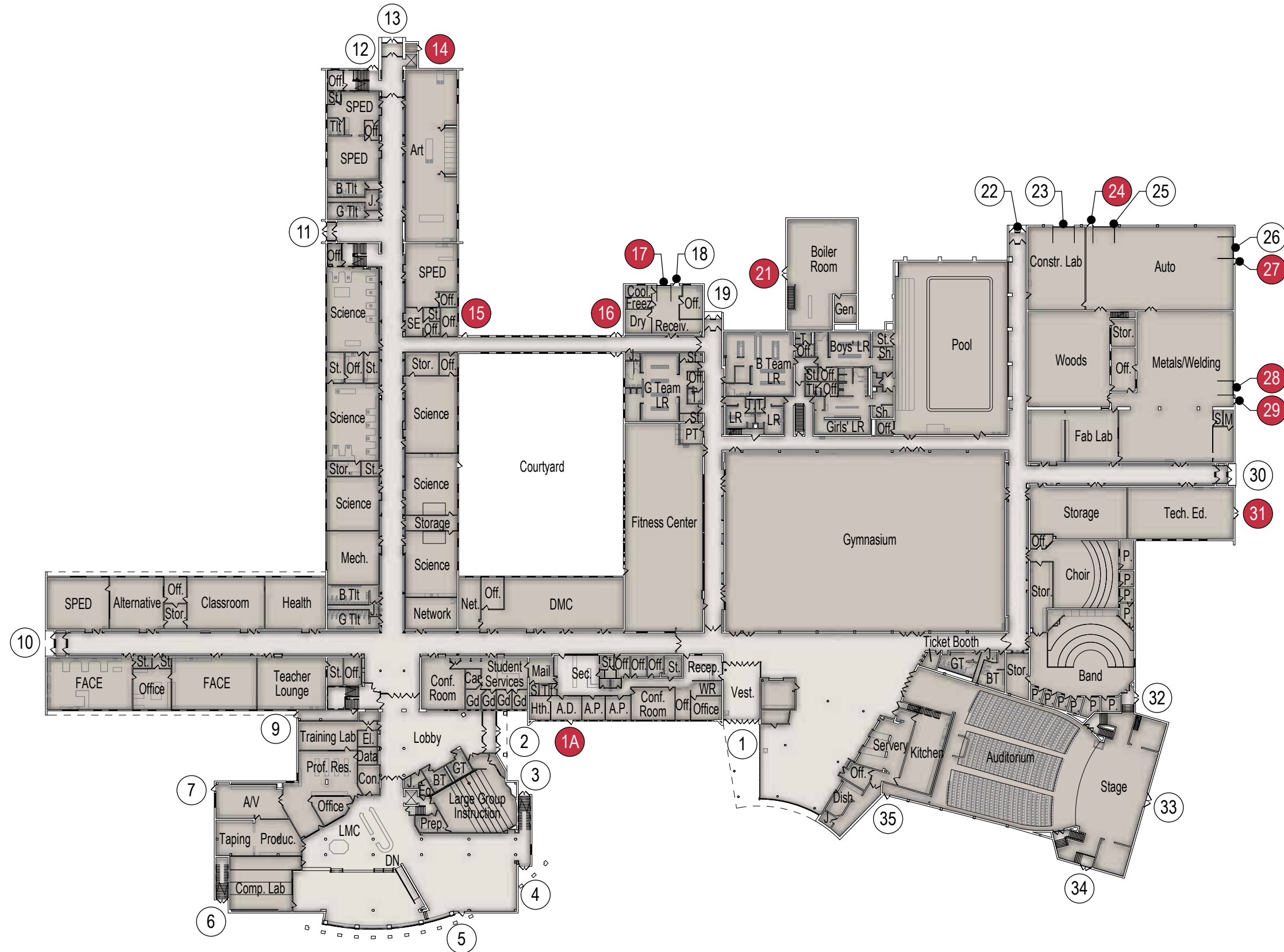
15 HOLLOW METAL DOOR & HOLLOW METAL FRAME



28 ROLL-UP DOOR



RHINELANDER HIGH SCHOOL: EXTERIOR DOOR ANALYSIS



FIRST FLOOR PLAN
not to scale



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RHINELANDER HIGH SCHOOL: EXTERIOR WINDOW ANALYSIS

Rhineland High School		
No.	Window Type	Consider Replacement
104	Aluminum w/ Double Pane	
102	Aluminum w/ Double Pane	
400	Aluminum w/ Double Pane	
400A	Aluminum w/ Double Pane	
301	Aluminum w/ Double Pane	
307	Aluminum w/ Double Pane	sealant peeling
114	Aluminum w/ Double Pane	
114A	Aluminum w/ Double Pane	x filled in
114B	Aluminum w/ Double Pane	
114C	Aluminum w/ Double Pane	
114D	Aluminum w/ Double Pane	
101	Aluminum w/ Double Pane	
103	Aluminum w/ Double Pane	
122	Aluminum w/ Double Pane	
128	Aluminum w/ Double Pane	paint peeling
129	Aluminum w/ Double Pane	sealant peeling
131	Aluminum w/ Double Pane	
134	Aluminum w/ Double Pane	
134	Aluminum w/ Double Pane	
135	Aluminum w/ Double Pane	
133	Aluminum w/ Double Pane	
130	Aluminum w/ Double Pane	
127	Aluminum w/ Double Pane	
125	Aluminum w/ Double Pane	
121	Aluminum w/ Double Pane	
119	Aluminum w/ Double Pane	
106	Aluminum w/ Double Pane	
108	Aluminum w/ Double Pane	
111	Aluminum w/ Double Pane	
113	Aluminum w/ Double Pane	
112	Aluminum w/ Double Pane	
110	Aluminum w/ Double Pane	x glass cracked
109	Aluminum w/ Double Pane	
107	Aluminum w/ Double Pane	
507	Aluminum w/ Double Pane	
508C	Aluminum w/ Double Pane	
508B	Aluminum w/ Double Pane	
508	Aluminum w/ Double Pane	
244	Aluminum w/ Double Pane	
246	Aluminum w/ Double Pane	
248	Aluminum w/ Double Pane	
243	Aluminum w/ Double Pane	
241	Aluminum w/ Double Pane	
239	Aluminum w/ Double Pane	
237	Aluminum w/ Double Pane	
233	Aluminum w/ Double Pane	
203	Aluminum w/ Double Pane	
205	Aluminum w/ Double Pane	
207	Aluminum w/ Double Pane	
209	Aluminum w/ Double Pane	
211	Aluminum w/ Double Pane	
213	Aluminum w/ Double Pane	
215	Aluminum w/ Double Pane	
217	Aluminum w/ Double Pane	



104 ALUMINUM W/ DOUBLE PANE



400A ALUMINUM W/ DOUBLE PANE



307 ALUMINUM W/ DOUBLE PANE



114A N/A



RHINELANDER HIGH SCHOOL: EXTERIOR WINDOW ANALYSIS

Rhineland High School		
No.	Window Type	Consider Replacement
220	Aluminum w/ Double Pane	
222	Aluminum w/ Double Pane	
224	Aluminum w/ Double Pane	
226	Aluminum w/ Double Pane	
226A	Aluminum w/ Double Pane	
228	Aluminum w/ Double Pane	
227	Aluminum w/ Double Pane	
225	Aluminum w/ Double Pane	
221	Aluminum w/ Double Pane	
219	Aluminum w/ Double Pane	
218	Aluminum w/ Double Pane	
216	Aluminum w/ Double Pane	
214	Aluminum w/ Double Pane	
212	Aluminum w/ Double Pane	
210	Aluminum w/ Double Pane	
208	Aluminum w/ Double Pane	
206	Aluminum w/ Double Pane	
230	Aluminum w/ Double Pane	
232	Aluminum w/ Double Pane	
240	Aluminum w/ Double Pane	
242	Aluminum w/ Double Pane	



110 ALUMINUM W/ DOUBLE PANE



224 ALUMINUM W/ DOUBLE PANE



221 ALUMINUM W/ DOUBLE PANE



248 ALUMINUM W/ DOUBLE PANE



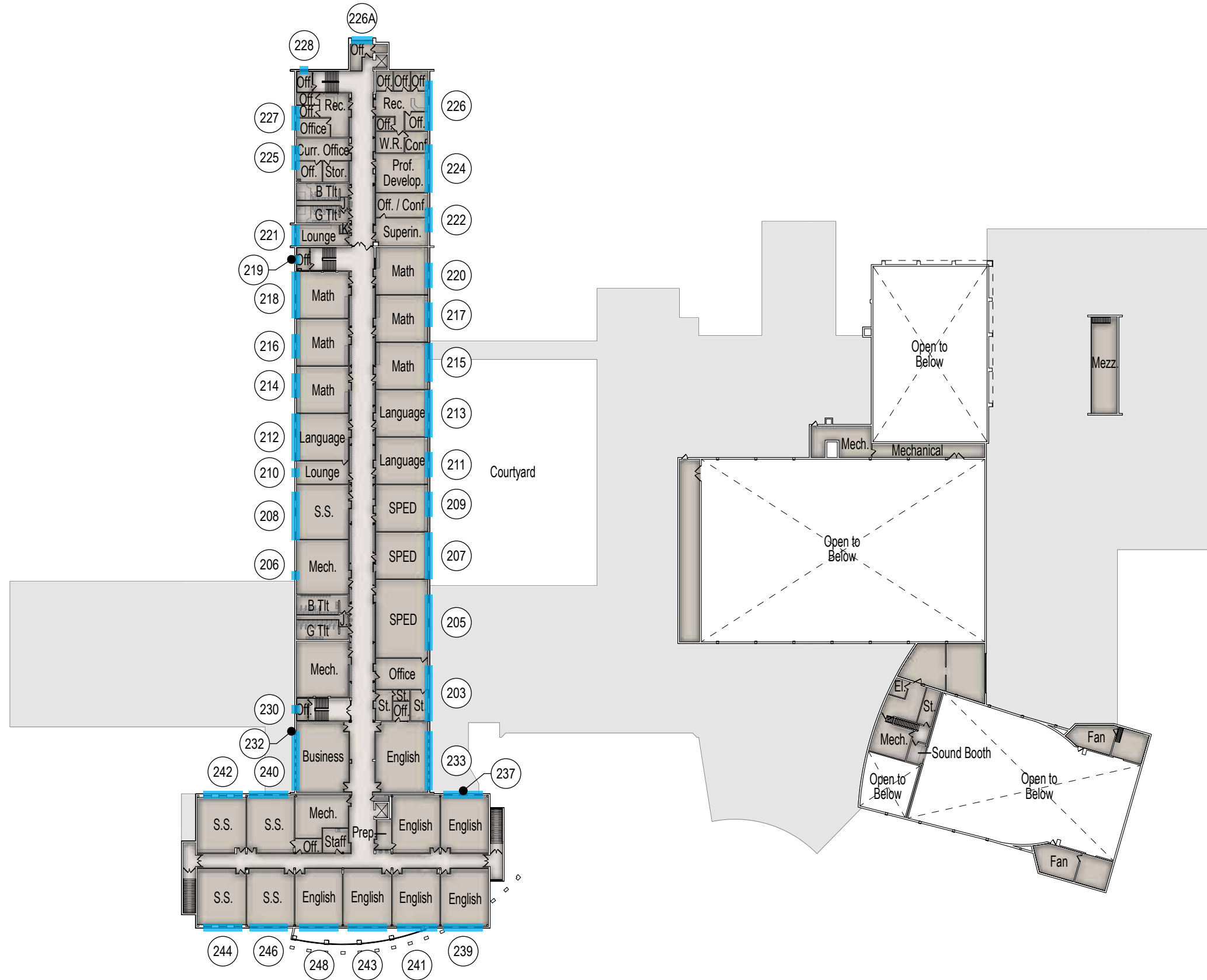
232 ALUMINUM W/ DOUBLE PANE



112 ALUMINUM W/ DOUBLE PANE



RHINELANDER HIGH SCHOOL: EXTERIOR WINDOW ANALYSIS



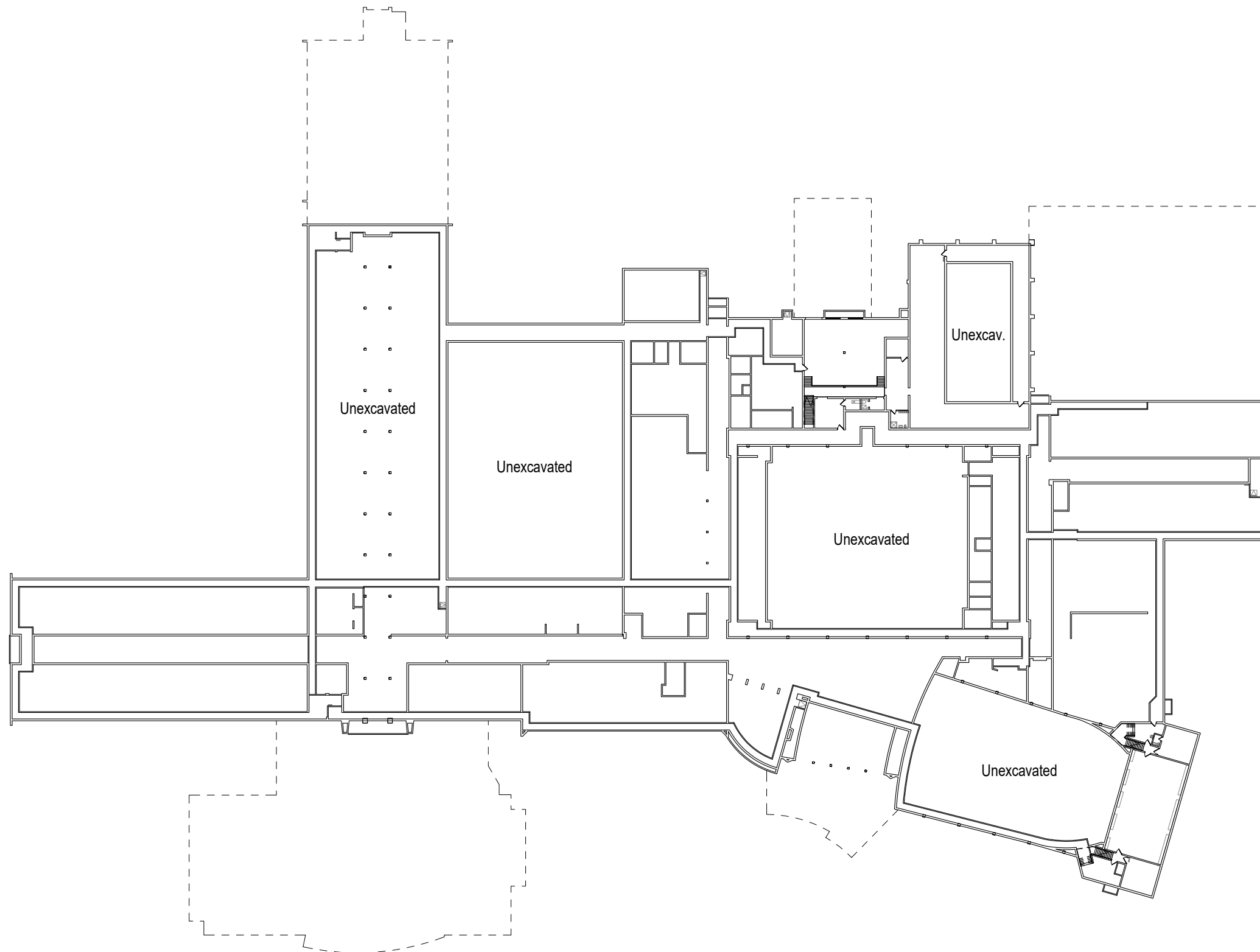
SECOND FLOOR PLAN
not to scale



RHINELANDER HIGH SCHOOL: FLOORING IDENTIFICATION

Color Key

-  = VCT
-  = Carpet
-  = Carpet Tile
-  = Tile
-  = Concrete
-  = Rubber
-  = Quarry Tile
-  = Wood
-  = Potential Asbestos Tile



**Note: Due to flooding, limited data could be found on the lower level.

LOWER LEVEL PLAN
not to scale



RHINELANDER HIGH SCHOOL: FLOORING IDENTIFICATION

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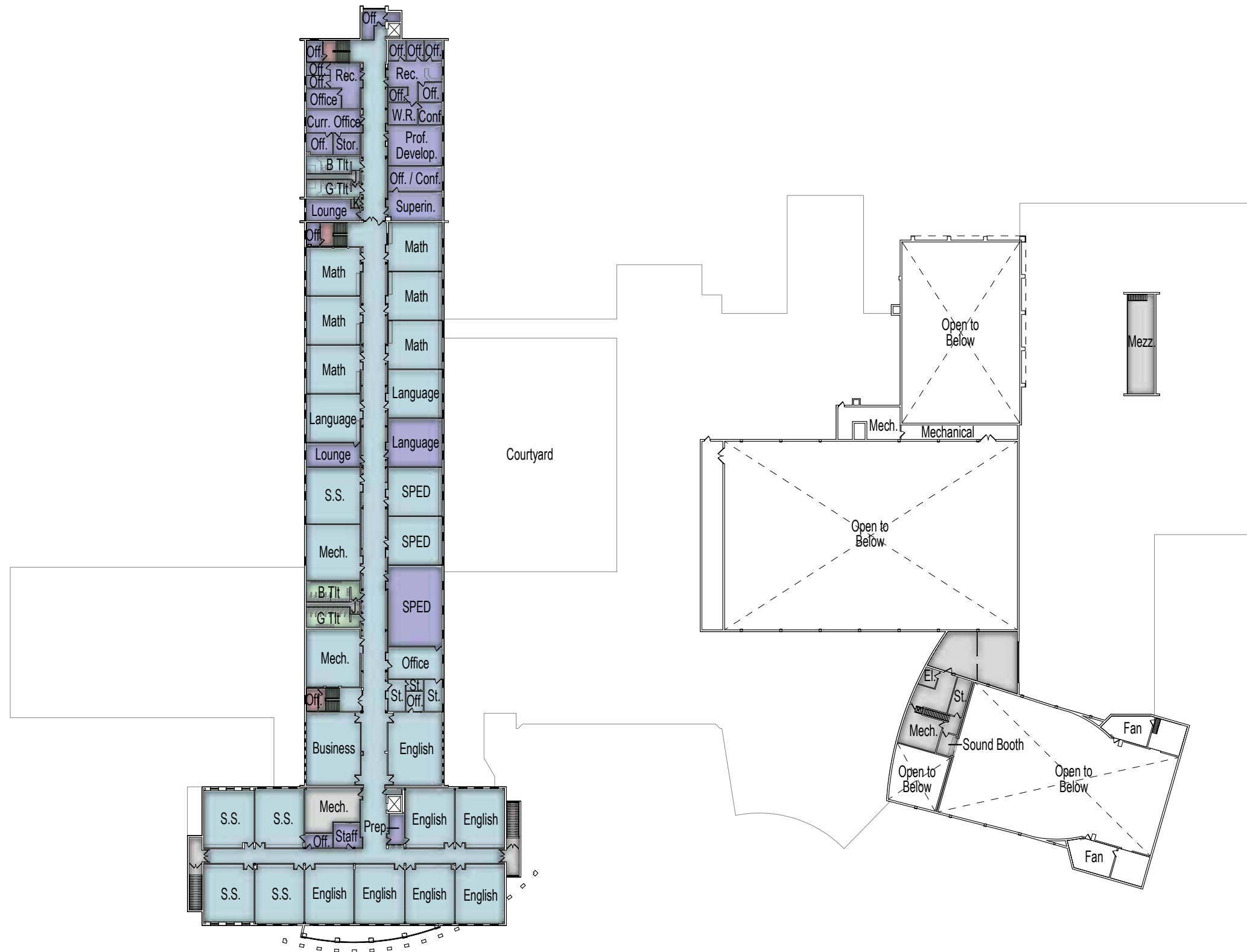
FIRST FLOOR PLAN
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RHINELANDER HIGH SCHOOL: FLOORING IDENTIFICATION

Color Key

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SECOND FLOOR PLAN
not to scale



